



**City of Bellevue
Development Services Department
Land Use Staff Report**

Proposal Name: Keeffe II Short Plat

Proposal Address: 444 140th Ave NE

Proposal Description: Land Use review of a proposal to subdivide a 29,880 square-foot lot into two lots of 14,383 (Lot 1) and 14,368 (Lot 2) square feet.

File Number: 15-115181-LN

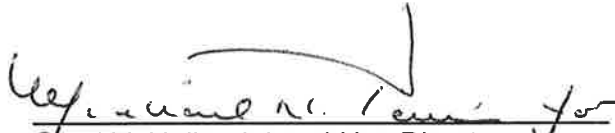
Applicant: Napoleon Esperanza, Murray Franklyn

Decisions Included: Preliminary Short Plat
(Process II. LUC 20.35.200)

Planner: David Wong, Planner

**State Environmental Policy Act
Threshold Determination:** Exempt (WAC 197-11-800(6))

Director's Decision: Approval with Conditions


Carol V. Helland, Land Use Director
Development Services Department

Application Date: May 28, 2015
Notice of Application Publication Date: June 25, 2015
Decision Publication Date: May 19, 2016
Project/SEPA Appeal Deadline: June 2, 2016

For information on how to appeal a proposal, visit Development Services Center at City Hall or call (425) 452-6800. Comments on State Environmental Policy Act (SEPA) Determinations can be made with or without appealing the proposal within the noted comment period for a SEPA Determination. Appeal of the Decision must be received in the City's Clerk's Office by 5 PM on the date noted for appeal of the decision.

CONTENTS

I. Proposal Description	1
II. Site Description, Zoning, Land Use and Critical Areas	1
III. Consistency with Land Use Code Requirements:.....	2
IV. Public Notice and Comment.....	3
V. Summary of Technical Reviews	4
VI. State Environmental Policy Act (SEPA).....	6
VII. Changes to proposal as a result of City review.....	7
VIII. Decision Criteria.....	7
IX. Conclusion and Decision.....	8
X. Conditions of Approval	9

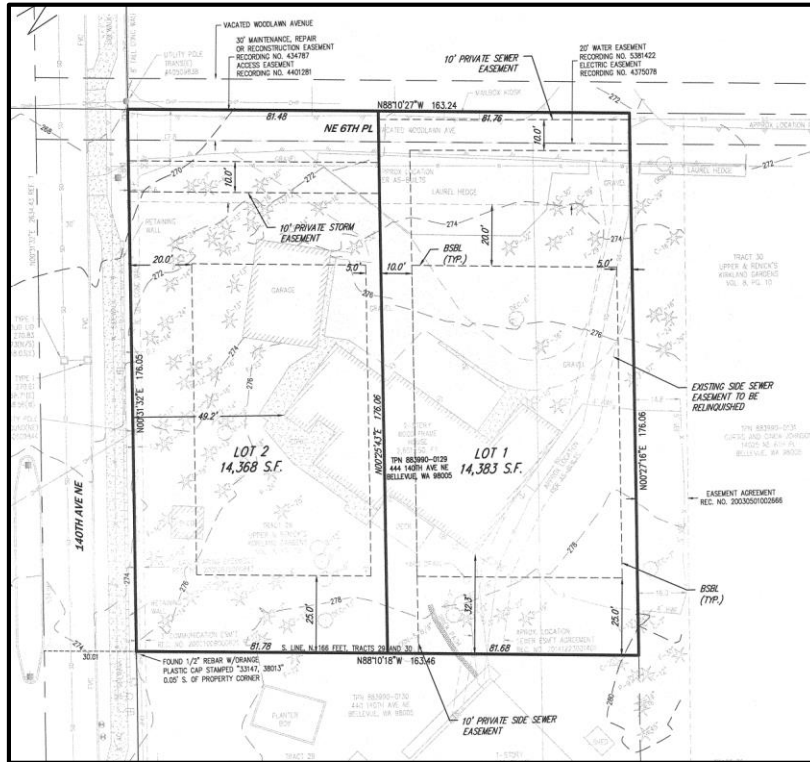
Attachments

1. Preliminary Short Plat
2. Clearing, Grading, Road Plan
3. Technical Memorandum (May 6, 2015) – Raedeke Associated, Inc.
4. Technical Memorandum (March 2, 2016) – Raedeke Associates, Inc.

I. Proposal Description

The applicant proposes to subdivide a legally existing 29,880 square-foot lot into two lots of 14,383 (Lot 1) and 14,368 (Lot 2) square feet. The site is located within the R-2.5 residential zoning district requiring a minimum 13,500 square feet of lot area for each newly created lot.

Figure 1



II. Site Description, Zoning, Land Use and Critical Areas

A. Site Description

The subject lot is a rectangular shaped 29,880 square-foot lot located within the Wilburton/NE 8th St Subarea. Access to the lot is achieved via a share private drive from 140th Ave NE. The site exhibits gentle slopes of 2-5% primarily vegetated with Douglas-fir (*Pseudotsudga menziesii*) trees.

B. Zoning

The property is zoned R-2.5, single-family residential zoning.

C. Land Use Context

The property has a Comprehensive Land Use designation of SF-M, or single-family medium density. The proposed short plat is consistent with the single-family comprehensive plan land use designation. The surrounding neighborhood context is entirely single-family uses both adjacent to the site and in the vicinity.

III. Consistency with Land Use Code Requirements:

A. Zoning District Dimensional Requirements:

The site is located in the R-2.5 zoning district. The following table describes the applicable dimensional standards for the land use zoning district.

	Standard	Lot 1	Lot 2	Complies?
Front Yard Structure Setback (feet)	20	20	20	Can comply with standard
Rear Yard Structure Setback (feet)	25	25	25	Can comply with standard
Side Yard Structure Setback (feet)	5	5	5	Can comply with standard
2 Side Yard Structure Setback (feet)	15	15	15	Can comply with standard
Minimum Lot Area (square feet)	13,500	14,383	14,368	Complies with standard
Maximum Lot Coverage	35	35	35	Can comply with standard
Maximum Impervious Surface	50	50	50	Can comply with standard
Minimum Greenspace	50	50	50	Can comply with standard
Width (feet)	80	81.68	81.48	Complies with standard
Depth (feet)	80	176.06	176.06	Complies with standard

B. Tree Retention LUC 20.20.900

For subdivisions, short subdivisions, and planned unit developments, the applicant shall retain a minimum of 30 percent of the diameter inches of significant trees existing on the total site area of the development; provided that alder and cottonwood tree diameter inches shall be discounted by a factor of 0.5.

The property contains 1082 diameter inches of significant trees. The applicant is required to retain a minimum of 30 percent of the diameter inches, or 324.6 diameter

inches. The applicant is proposing to retain 362 (33.5 percent) diameter inches, which exceeds the minimum requirement and therefore complies with the requirements for tree retention.

The trees identified for retention shall be included on a tree retention plan to be recorded with the final short plat. See Section X for conditions of approval.

IV. Public Notice and Comment

Application Date:	May 28, 2015
Public Notice (500 feet):	June 25, 2015
Minimum Comment Period:	July 9, 2015

The Notice of Application for this project was published in the City of Bellevue weekly permit bulletin on June 25, 2015. It was mailed to property owners within 500 feet of the project site. Three (3) comments have been received from the public as of the writing of this staff report.

Summary of public comment

Comment: We hope that the new plat and development will not affect the overall look and feel of the area in regards to tree canopy and cover.

Response: The applicant has proposed to retain slightly more diameter inches than required for short plat applications. In addition, several trees that do not meet the definition for 'Significant Tree' are being retained on site, which include both smaller trees and a snagged tree in order to maintain both environmental and aesthetic values.

Comment: A problem with storm drainage exists on the subject site. We would like the water to be directed to 140th Ave NE.

Response: All surface water is directed to 140th Ave NE with one exception (roof drains on Lot 1 will be directed to an infiltration trench on Lot 1). Storm drainage design review, plan approval and field inspection will be conducted under separate UB permit applications under the Utility Developer Extension Agreement (UE) permit.

Comment: I believe the habitat assessment is incorrect, specifically in the way that it characterized the area.

Response: Raedeke Associates, Inc. has provided a response that can be found at Attachment 4. The report discusses the criteria under which the habitat assessment was conducted. The report states the following findings and responses:

- The Land Use/Development Density is Zone C due to:

- Forest habitat is not continuous and unbroken due to the existence of “homes, lawns, ornamental landscaping, driveways, and access drive” within the assemblage (pg. 1)
- Total forest habitat of approximately 8-9 acres (pg. 2)
- Impervious surface is estimated between 20-50% in the surrounding developments (pg. 2)*
- Connection to other habitat areas are considered broken and do not exhibit a 25-foot wide connection of at least one acre based on Habitat Functional Assessment criteria, including the existence of structures, non-native and ornamental lawns, solid walls, and paved surfaces (pg. 2)
- Patch size, based on the criteria for Zone C, is between 8 and 9 acres, which could potentially alter the score by one point (pg. 3)
- Interspersion is considered low due to other habitat patches within the 1,178 square-foot radius are under 1 acre, with exception to lawn area associated with a neighboring church (pg. 3)
- Proximity and connection to Critical Areas is scored as ‘< 1,200 feet’ due to the existence of wetland area approximately 400 feet to the east and a stream approximately 200 feet of the subject property (pg. 3)**
- Scoring of the Keeffe property is still considered 35 points; however this could vary to 38 points if the site contained connection to other habitats, interspersion was considered moderate, and habitat patch was considered 5-10 acres, which is still within the range of 26-40 points (pg. 4)
- The Keeffe property has been foraged by pileated woodpeckers, but is limited one small snag with, “no actual habitat for nesting or roosting” having been identified (pg. 4)

** Estimation was required due to limited and/or restricted access to private property of the surrounding developments.*

*** Review by City staff found that wetland area has be previously mapped approximately 216 feet from the Keeffe property, but that the scoring is unaffected by this finding.*

Based on information contained within the first (Attachment 3) and second (Attachment 4) Technical Memorandums provided by Raedeke, the City believes the findings are within reason and that the score of the Habitat Assessment has been correctly determined.

V. Summary of Technical Reviews

Clearing and Grading:

The Clearing and Grading Division of the Development Services Department has reviewed the proposed development for compliance with Clearing and Grading codes and standards. The Clearing and Grading staff found no issues with the proposed development.

A Clearing and Grading Permit is required for this project per BCC 23.76.035. The permit application must be in accordance with the Clearing and Grading Code, as outlined in the

submittal requirements and the Clearing and Grading Development Standards, which is available on the City of Bellevue website at: <http://www.bellevuewa.gov/clearing-grading-standards.htm>

The clearing and grading activities during the construction phase of the plat application are limited by Code to those areas necessary for road and utility construction (BCC 23.76.042). Individual building lots must remain vegetated until construction of each building is approved through the building permit process.

Utilities

The Utilities Department's Development Review Division has reviewed the proposed development for compliance with Bellevue Utilities' codes and standards. The Utilities Development Review staff found no issues with the proposed development.

Transportation

The Transportation Department has reviewed the plans submitted for the preliminary short plat and recommends approval. The final engineering plans must show all transportation-related improvements and must be consistent with the Transportation Development Code (BCC 14.60) and the Transportation Department Design Manual prior to approval of the plat infrastructure permit. Prior to final short plat approval, the developer must provide all transportation improvements at the developer's expense (BCC 14.60.110) or provide an acceptable financial assurance device equivalent to 150% of the cost of unfinished improvements.

Under BCC 22.16, payment of the transportation impact fee for each new home prior to building permit issuance will adequately mitigate off-site transportation impacts. The fee amount is subject to periodic revision by the City Council. Builders will pay the fee in effect at the time of building permit issuance.

Street Frontage and Site Access

Access to Lots 1 and 2 will be from the existing private road, NE 6th Place, east of 140th Avenue NE. No other access connection to city right-of-way is authorized. The existing driveway, which serves the existing house, must be removed. The existing private road is contained within a 30 foot wide access and maintenance easement on the north end of the project site property. The existing private road is approximately 16 feet wide where it connects to the right of way on 140th Ave NE, and at approximately 30 feet behind the sidewalk, the private road narrows to approximately 11 feet wide, remaining at this width along the project site. The private road shall be widened to 20 feet to meet current standards and shall meet pavement requirements of the Transportation Design Manual Standard Drawing DEV-8. The applicant has proposed to overlay the existing portion of the private road along the project site frontage. After the driveway connection to Lot 1, the private road may taper to match into existing conditions. A thickened asphalt edge will be installed along the southern portion of the widened private road. The widened private road will be maintained by owners of the access easement. Lots 1 and 2 will connect to NE 6th

Place via two separate single-family residential driveways. The applicant proposed a driveway throat width of approximately 18 feet with a radius to better facilitate vehicle turning movements into each driveway.

The driveway approach connecting to 140th Avenue NE shall be replaced per the City's Transportation Department Design Manual Standard Drawing DEV-7F. To accommodate the widening of the private road, portions of the landscaping, sidewalk, planter strip, and the concrete wall on 140th Avenue NE, south of the private road, must be removed. These items must be restored to match existing conditions. Roadside appurtenances, including a street name sign and fire hydrant, must be relocated with the widening of the private road. The details of the relocation are to be determined with the clearing and grading permit review. No fixed objects allowed within 10 feet of the driveway edge. Construction of the driveway apron, sidewalk, and planter strip may require relocation of the utility pole north of the driveway.

Site addresses have been determined by the City's Parcel and Address Coordinator. Lot 1 has been addressed as 14019 NE 6th Place. Lot 2 has been addressed as 14003 NE 6th Place. It is the responsibility of the developer to coordinate mailbox location and design with the local Postmaster. If a cluster mailbox location is to be used, it should be consistent with city standards and code for roadside appurtenances, mailboxes, sight distance, and clear zone requirements. The mailbox location must be acceptable to the Transportation Department regarding safety requirements, and must be shown on the clearing and grading plans.

Any new franchise utility distribution systems serving the new single-family homes for Lots 1 and 2 will be located underground, and this may include undergrounding the crossing to the west side of 140th Avenue NE as determined by PSE. The undergrounding of existing distribution systems along the 140th Avenue NE frontage will not be required. There is an existing street light directly across 140th Avenue NE from the private road connection; therefore, a street light will not be required.

Prior to final short plat approval, the developer must provide street frontage improvements including installing the street light, driveway approach, and pavement restoration improvements on 140th Avenue NE and NE 6th Place at the developer's expense (BCC 14.60.110) or provide an acceptable financial assurance device equivalent to 150% of the cost of unfinished frontage improvements. The final engineering plans showing those frontage improvements must be consistent with the Transportation Development Code (BCC 14.60) and the Transportation Department Design Manual prior to approval of the plat infrastructure (GE) permit.

Use of the Right of Way

Applicants often request use of the right of way and of pedestrian easements for materials storage, construction trailers, hauling routes, fencing, barricades, loading and unloading, and other temporary uses as well as for construction of utilities and street improvements.

A Right of Way Use Permit for such activities must be acquired prior to issuance of any construction permit including demolition permit.

Pavement Restoration

The City of Bellevue has established the Trench Restoration Program to provide developers with guidance as to the extent of resurfacing required when a street has been damaged by trenching or other activities. Under the Trench Restoration Program, every public street in the City of Bellevue has been examined and placed in one of three categories based on the street's condition and the period of time since it was last resurfaced. These three categories are No Street Cuts Permitted, Overlay Required, and Standard Trench Restoration. Each category has different trench restoration requirements associated with it. Near the development site, 140th Avenue NE is classified as Overlay Required. The minimum pavement restoration will be a grind and overlay for 50 feet as specified in the right of way use permit.

Sight Distance

The access design shall meet the sight distance requirements of BCC 14.60.240. Vegetation shall be trimmed as needed within the sight triangle.

Transportation Impacts and Mitigation

City staff has analyzed the potential short term operational impacts of this proposal in order to recommend mitigation if necessary. These impacts included traffic operations conditions during the a.m. and p.m. peak hours. Due to the minimal amount of new p.m. peak hour trips to be generated by the Keeffe Short Plat, traffic impacts from this development will be minor in nature. Therefore, no additional mitigation is required other than payment of the transportation impact fee.

Fire

Demolition and construction shall conform to the requirements of International Fire Code Chapter 14.

The short plat itself does not require any lots to be sprinkled; however, a fire sprinkler determination will be made on a lot-by-lot basis when residential building permits are submitted.

VI. State Environmental Policy Act (SEPA)

The proposal for a short subdivision is categorically exempt from SEPA Environmental Review in accordance with City of Bellevue Environmental Procedures Code, BCC 22.02B and WAC 197-11-800.

VII. Changes to proposal as a result of City review

No changes were requested by the City to significantly alter the original proposal.

VIII. Decision Criteria

A. Preliminary Short Plat Decision Criteria 20.45B.130A

The Director may approve or approve with modifications if:

- 1. The preliminary short plat makes appropriate provision for, but not limited to, the public health, safety and general welfare, for open sources, drainage ways, streets, sidewalks, alleys, other public ways, water supplies, sanitary waste; and**

Finding: City codes ensure public health, safety, and general welfare through development code requirements. Project review by all review divisions has found the project to be in compliance with City codes and the project approval includes specific conditions to ensure the standards are met.

- 2. The public interest is served by the short subdivision; and**

Finding: The public interest is served by providing additional housing opportunities in accordance with the Comprehensive Plan while ensuring compliance with City codes and standards.

- 3. The preliminary short plat appropriately considers the physical characteristics of the proposed short subdivision; and**

Finding: The preliminary short plat considers the physical characteristics of the site by providing access to the lots off of NE 6th PL to which an access easement exists. The access easement and lot orientations are configured to provide maximum density while complying with zoning dimensional standards.

- 4. The proposal complies with all applicable provisions of the Land Use Code, BCC Title 20, the Utility Codes, BCC Title 24, and the City of Bellevue Development Standards; and**

Finding: As discussed in Section III of this report, the proposal complies with the Land Use Code requirements for R-2.5 zoning districts. The proposal has also been reviewed and determined to be in compliance with the Bellevue Utilities Code and the Bellevue Transportation Development Standards.

- 5. The proposal is in accord with the Comprehensive Plan, BCC Title 21; and**

Finding: The site is located within the Wilburton/NE 8th St Subarea of the Comprehensive Plan. The Comprehensive Plan specifies single-family medium

density development for this are of the city. The proposal complies with applicable Comprehensive plan policies city-wide and for this Subarea

Single-family homes are, by use type, compatible with the surrounding neighborhoods. This proposal provides new housing as encourage by the Comprehensive Plan (Policy LU-5). The proposed short plat provides housing for the City of Bellevue's share of the regionally adopted demand forecasts for residential uses for the next 20 years (LU-4)

The proposal meets Comprehensive Plan policies to preserving a portion of significant trees in order to sustain wildlife (EN-71), maintain good surface water quality (EN-20), and manage water runoff for new development and redevelopment to meet water quality objectives (EN-39).

6. **Each lot in the proposal can reasonable be developed in conformance with current Land Use Code requirements without requiring a variance; however requests for modification to the requirements of Part 20.25H LUC, where allowed under the provision of that part, may be considered together with an application for preliminary short plat so long as the resulting lots may each be developed without individually requiring a variance; and**

Finding: No lot in the proposed subdivision will require a variance to be reasonably developed with a single-family residence.

7. **All necessary utilities, streets, or access, drainage and improvement are planned to accommodate the potential use of the entire property.**

Finding: As discussed in Section III of this report, the proposal complies with all other applicable requirements of the Land Use Code.

IX. Conclusion and Decision

After conducting the various administrative reviews associated with this proposal, including Land Use Code consistency, City Code and Standard compliance reviews, the Director of the Development Services Department does hereby **approve with conditions** the proposal to subdivide the subject site into two single-family residential properties.

Note- Expiration of Approval: In accordance with LUC 20.45B.150 a preliminary short plat approval expires and is void if the applicant fails to file for approval of the final short plat within a year of the effective date of the preliminary short plat, unless an extension has been granted or a greater time frame has been provided.

X. Conditions of Approval

The applicant shall comply with all applicable Bellevue City Codes and Ordinances

including but not limited to:

<u>Applicable Ordinances</u>	<u>Contact Person</u>
Clearing and Grading Code- BCC 23.76	Savina Uzunow, 425-452-7860
Land Use Code- BCC 20.25H	David Wong, 425-452-4282
Noise Control- BCC 9.18	David Wong, 425-452-4282
Transportation- BCC 14.60	Vanessa Humphreys, 425-452-2569
Utilities Code- BCC Title 24.02, 24.04, 24.06	Brad Ayers, 425-452-6054
Fire Code- BCC 23.11	Travis Ripley, 425-452-6042
Right of Way- BCC 14.30, 14.60	Tim Stever, 425-452-4294

The following conditions are imposed under the Bellevue City Code or SEPA authority referenced:

1. Noise Control

Noise related to construction is exempt from the provisions of BCC 9.18 between the hours of 7 am to 6 pm, Monday through Friday, and 9 am to 6 pm on Saturdays, except for federal holidays and as further defined by the Bellevue City Code. Noise emanating from construction is prohibited on Sundays or legal holidays unless expanded hours of operation are specifically authorized in advance. Requests for construction hour extension must be made at least one week in advance with submittal of a construction noise expanded exempt hours permit.

Authority: Bellevue City Code 9.18
Reviewer: David Wong, Development Service Department

2. Time Limitation

This preliminary short plat approval automatically expires and is void if the applicant does not file a complete final short plat application within one (1) year of the effective date of the preliminary short plat approval. However, the applicant may apply for an extension of the preliminary short plat pursuant to the provision of Land Use Code Section 20.45B.160.

Authority: Land Use Code.45B.150 and 20.45B.160
Reviewer: David Wong, Development Service Department

3. Preliminary Design, Utility Codes, and Engineering Standards

Utility Department approval of the preliminary short plat application is based on the conceptual design only. Changes to the site layout may be required to accommodate the utilities after utility engineering is approved. The water, sewer, and storm drainage systems shall be designed per the current City of Bellevue Utility Codes and Utility Engineering Standards. Utilities Department design review, plan approval, and field

inspection is performed under the Utility Developer Extension Agreement (UE) and Utilities Permit Processes.

Authority: Bellevue City Code 24.02, 24.04, 24.06
Reviewer: Brad Ayers, Utilities Department

4. Significant Tree Retention

At least thirty percent of the diameter inches of all significant trees on the site are required to be retained. If trees depicted on the preliminary short plat as retained are subsequently found infeasible to retain, conformance is required to be demonstrated with LUC 20.20.900 D and/or G to demonstrate that the required 30 percent of diameter inches is being retained. In addition to the required 30 percent, the snag indicated in the Raedeke Memorandum (dated March 2, 2016) must be retained for habitat purposes.

AUTHORITY: Land Use Code 20.20.900 D and G
REVIEWER: David Wong, Development Services Department

5. Right Of Way Use Permit

The applicant is required to apply for a Right of Way Use Permit before the issuance of any clearing and grading, building, foundation, or demolition permit. In some cases, more than one Right of Way Use Permit may be required, such as one for hauling and one for construction work within the right of way. A Right of Way Use Permit regulates activity within the city right of way, including but not limited to the following:

- a) Designated truck hauling routes.
- b) Truck loading and unloading activities.
- c) Hours of construction and hauling.
- d) Continuity of pedestrian facilities.
- e) Temporary traffic control and pedestrian detour routing for construction activities.
- f) Street sweeping and maintenance during excavation and construction.
- g) Location of construction fences.
- h) Parking for construction workers.
- i) Construction vehicles, equipment, and materials in the right of way.
- j) All other construction activities as they affect the public street system.

In addition, the applicant shall submit for review and approval a plan for providing pedestrian access during construction of this project. Access shall be provided at all times during the construction process, except when specific construction activities such as shoring, foundation work, and construction of frontage improvements prevents access. General materials storage and contractor convenience are not reasons for preventing access.

Authority: Bellevue City Code 14.30
Reviewer: Tim Stever, Right of Way Department

6. Off Street Parking

The applicant must secure sufficient off-street parking for construction workers, equipment, and materials storage before the issuance of a clearing and grading, building, foundation, or demolition permit.

Authority: Bellevue City Code 14.30
Reviewer: Tim Stever, Right of Way Department

7. Engineering Plans

A site (civil engineering) plan produced by a qualified engineer must be approved by the City prior to clear and grading permit approval. The design of all street frontage improvements must be in conformance with the requirements of the Americans with Disabilities Act, the Transportation Development Code, and the provisions of the Transportation Department Design Manual. The engineering plans must correctly show all transportation-related engineering details, including but not limited to, the design of the private road widening, the connection to 140th Avenue NE, pavement restoration, mailbox location, and sight distance. Appropriate standard drawings from the Transportation Department Design Manual must be included in the engineering plans.

Specific requirements are detailed below:

a) Site Specific Items:

- i. The existing private road, NE 6th Place, shall be widened to 20 feet along the project frontage. The width may taper down to match into existing conditions after the driveway for Lot 1 (the eastern lot). The civil engineering plans shall show a profile view of the private road for the portion that fronts the project site.
- ii. The pavement requirements for the new portion of the private road, NE 6th Place, shall be per Standard Drawing DEV-8. The applicant has proposed a 2" pavement overlay of the existing portion of the private road fronting the project site. A thickened asphalt edge is required along the southern portion of the private road frontage.
- iii. The driveway approach connecting to 140th Avenue NE shall be replaced per Standard Drawing DEV-7F. To accommodate the widening of the private road, portions of the landscaping, sidewalk, and concrete wall on 140th Avenue NE, south of the private road, must be removed. After construction of the new driveway approach, these items must be restored to match existing conditions.
- iv. Roadside appurtenances, including a street name sign and fire hydrant, must be relocated with the widening of the private road. The details of the relocation are to be determined with the clearing and grading permit review. No fixed objects

allowed within 10 feet of the driveway edge. Construction of the driveway apron, sidewalk, and planter strip may require relocation of the utility pole north of the driveway.

- v. The sight distance setback lines shall be shown on the civil engineering plans at the private road (NE 6th Place) connection with 140th Avenue NE as exhibited in Standard Drawing TE-1. The restored concrete wall and other relocated items must be placed outside of the sight distance triangle.
- vi. Lots 1 and 2 will connect to NE 6th Place via two separate single-family residential driveways. The applicant proposed a driveway throat width of approximately 18 feet with a radius to better facilitate vehicle turning movements into each driveway.
- vii. The mailbox installation location will be shown on the civil engineering plans as determined with the Bellevue Post Master.
- viii. Any new franchise utility distribution systems serving the new single-family homes for Lots 1 and 2 will be located underground, and this may include undergrounding the crossing to the west side of 140th Avenue NE, as determined by PSE.
- ix. For street cuts into 140th Avenue NE, a minimum 50 feet grind and overlay is required as specified in the right of way use permit. Channelization must be restored as necessary.

b) Miscellaneous:

- Landings on sloping approaches are not to exceed a 10% slope for a distance of 20 feet approaching the back edge of sidewalks. Driveway grades must be designed to prevent vehicles from bottoming out due to abrupt changes in grade.
- The maximum cross grade of a street at the street end shall be 8%.
- Vehicle and pedestrian sight distance must be provided per BCC 14.60.240 and 14.60.241.

Construction of all street and street frontage improvements must be completed prior to closing the clear and grade permit and right of way use permit for this project. A Design Justification Form must be provided to the Transportation Department for any aspect of any pedestrian route adjacent to or across any street that cannot feasibly be made to comply with ADA standards. Forms must be provided prior to approval of the clear and grade plans for any deviations from standards that are known in advance. Forms provided in advance may need to be updated prior to project completion. For any deviations from standards that are not known in advance, Forms must be provided prior to project completion.

Authority: Bellevue City Code 14.60; Transportation Department Design Manual; and Transportation Department Design Manual Standard Drawings.

Reviewer: Vanessa Humphreys, Transportation Department

Prior to Final Short Plat Approval:

1. Tree Retention/Final Short Plat

The City of Bellevue urges the applicant to save as many trees as possible. As proposed, the final short plat shall preserve a minimum of 325 diameter inches of existing significant trees. A Tree Preservation Plan that portrays the drip-line, the diameter size, and common name of each significant tree to be retained must be recorded with the *final short plat mylar* (recorded with King County). The following note is required on the Tree Preservation Plan:

DESIGNATION OF TREES ON THE TREE PRESERVATION PLAN ESTABLISHES A COVENANT BY THE OWNER TO LEAVE UNDISTURBED ALL TREES AS SHOWN ON THE TREE PRESERVATION PLAN. THIS COVENANT SHALL RUN WITH THE LAND AND SHALL BE BINDING UPON ALL FUTURE OWNERS. NO TREE TOPPING, TREE CUTTING, OR TREE REMOVAL SHALL OCCUR UNLESS REQUIRED OR APROVED BY THE CITY. EXCEPT FOR ORDINARY LANDSCAPE MAINTENANCE, NO CONSTRUCTION, CLEARING, OR LAND ALTERATION ACTIVITIES SHALL OCCUR WITHIN THE DRIP-LINE OF TREES SHOWN ON THE TREE PRESERVATION PLAN, UNLESS REQUIRED OR APPROVED BY THE CITY. ACTIVITIES IN VIOLATION OF THIS COVENANT ARE SUBJECT TO PENALTY, INCLUDING WITHOUT LIMITATION, FINES AND MITIGATION REQUIREMENTS. THE CITY OF BELLEVUE SHALL HAVE THE RIGHT, BUT NOT THE OBILGATION, TO ENFORCE THE REQUIREMENTS, TERMS, AND CONDITIONS OF THIS COVENANT BY ANY METHOD AVAILABLE UNDER LAW. IT IS THE OBLIGATION OF THE OWNER TO COMPLY WTH THE TERMS OF THE TREE PRESERVATION PLAN AND THIS COVENANT.

AUTHORITY: Land Use Code 20.20.900.D

REVIEWER: David Wong, Development Services Department

2. Lot Lines

To avoid confusion in the future, the final short plat shall label the property lines as front, rear, or side.

AUTHORITY: Land Use Code 20.20.030

REVIEWER: David Wong, Development Services Department

3. Sight Distance

If necessary to meet the sight distance requirements of BCC 14.60.240 and standard drawing TE-1, existing vegetation near the access point on SE 44th Place must be trimmed. Ground vegetation within the sight triangle must be trimmed to no more than

2.5 feet above a line drawn from pavement level to pavement level. Trees within the sight triangle must be limbed up to a height of 7.5 feet above a line drawn from pavement level to pavement level. A description of any required vegetation trimming must be shown on a sheet of the clearing and grading plan set.

Authority: Bellevue City Code 14.60.240

Reviewer: Vanessa Humphreys, Transportation Department, 425-452-2569

4. Pavement Restoration

The city's pavement manager has determined that this segment of 140th Avenue NE will require grind and overlay trench restoration for any utility connections or other digging in the street surface. Trench restoration must meet the requirements of Section 21 of the Design Manual and standard drawings ROW-1 through ROW-5. Exact copies of the appropriate trench restoration drawing(s) must be included in the final engineering plans.

Authority: Bellevue City Code 14.60.250 & Design Manual Design Standard # 23

Reviewer: Tim Stever, Right of Way Department

5. Infrastructure Improvements

All street frontage and infrastructure improvements shown in the final engineering plans or required by city codes and standards must be either completed prior to approval of the final short plat or provided for with a financial assurance device. Completion of the top lift and all other transportation infrastructure items prior to completion of the homes associated with the development is allowed.

Transportation Development Code Section 14.60.260 provides for a developer to obtain final short plat approval prior to finishing improvements with provision of an acceptable financial assurance device equivalent to 150% of the cost of unfinished infrastructure improvements. Provision of such an assurance device requires completion of the improvements by the developer within two years of final short plat approval. Installation of improvements that would negatively affect safety if left unfinished may not be delayed through use of a financial assurance device. Partial reductions of the financial assurance device will not be approved except in special circumstances, determined in advance, such as phased projects.

Improvements must be approved by the Transportation Department inspector before they are deemed complete. At completion of all transportation infrastructure items, the developer must provide a one year maintenance assurance device equivalent to 20% of the value of the transportation infrastructure improvements, dating from the acceptance of the improvements.

Authority: Bellevue City Code 14.60.100, 110, 130, 150, 170, 190, 210, 240, 241,

260; Transportation Department Design Manual Sections 3, 4, 5, 7, 11, 14, 19

Reviewer: Vanessa Humphreys, Transportation Department

4. Access Design and Maintenance

The final Subdivision map must include a note that specifies that the owners of lots served by the private road are jointly responsible for maintenance and repair of the private road. Also, the final Subdivision map must include a note that specifies that the private road will remain open at all times for emergency and public service vehicles and shall not be gated or obstructed.

Authority: Bellevue City Code 14.60.130

Reviewer: Vanessa Humphreys, Transportation Department

5. Addressing

Revised Addresses are required in accordance with International Fire Code.

Authority: IFC 505

Reviewer: Travis Ripley, Fire Department

6. Access Road

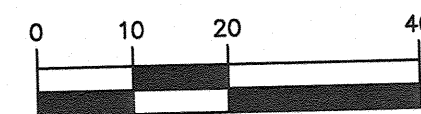
The new access road shall be paved a minimum of 16 feet wide, and shall be posted and marked "Fire Lane-No Parking" per Bellevue Standards. If the access road exceeds a grade of 12%, the home(s) shall have automatic fire sprinklers installed per NFPA 13D.

Authority: Bellevue Amended IFC 503.2.1, 503.2.7, 503.3

Reviewer: Travis Ripley, Fire Department



SCALE: 1" = 20'

**ENGINEER/SURVEYOR
PLANNER/LANDSCAPE**

CORE DESIGN, INC.
14711 N.E. 29TH PL., SUITE 101
BELLEVUE, WA 98007
(425) 885-7877
CONTACT: SHERI MURATA, P.E.
BOB WEST, P.L.S.
LAKE HERMANSEN
LINDSEY SOLORIO, P.L.A.

OWNER/APPLICANT

BERKSHIRE HOME BUILDERS, LLC
14410 BEL-RED ROAD
BELLEVUE, WA 98007
(425) 644-2323
CONTACT: NAPOLEON ESPERANZA

EXISTING PROPERTY OWNER:
JAMES H AND SANDRA LEE KEEFFE

DENSITY CALCULATIONS

GROSS SITE AREA:	28,751 S.F. (0.66± AC.)
NET SITE AREA:	28,751 S.F. (0.66± AC.)
LOTS ALLOWED:	2.0 DU (1.52 DU)
LOTS PROPOSED:	2.0 DU

SETBACKS

	CODE	PROPOSED
FRONT	20	20
SIDE	5	5
STREET SIDEYARD	10	10
REAR	25	25

SITE STATISTICS

LAND USE CODE	R-2.5
SITE AREA	28,751 S.F.
MINIMUM LOT AREA (BOC 20.20.010)	13,500 S.F.
TOTAL NUMBER OF DWELLING UNITS	2 (1.72)
MAXIMUM BUILDING HEIGHT	35'
MAXIMUM BUILDING COVERAGE	35%
MAXIMUM IMPERVIOUS SURFACE	50%
MINIMUM LANDSCAPE PERCENTAGE OF FRONT YARD SETBACK	50%

PERMIT NUMBER

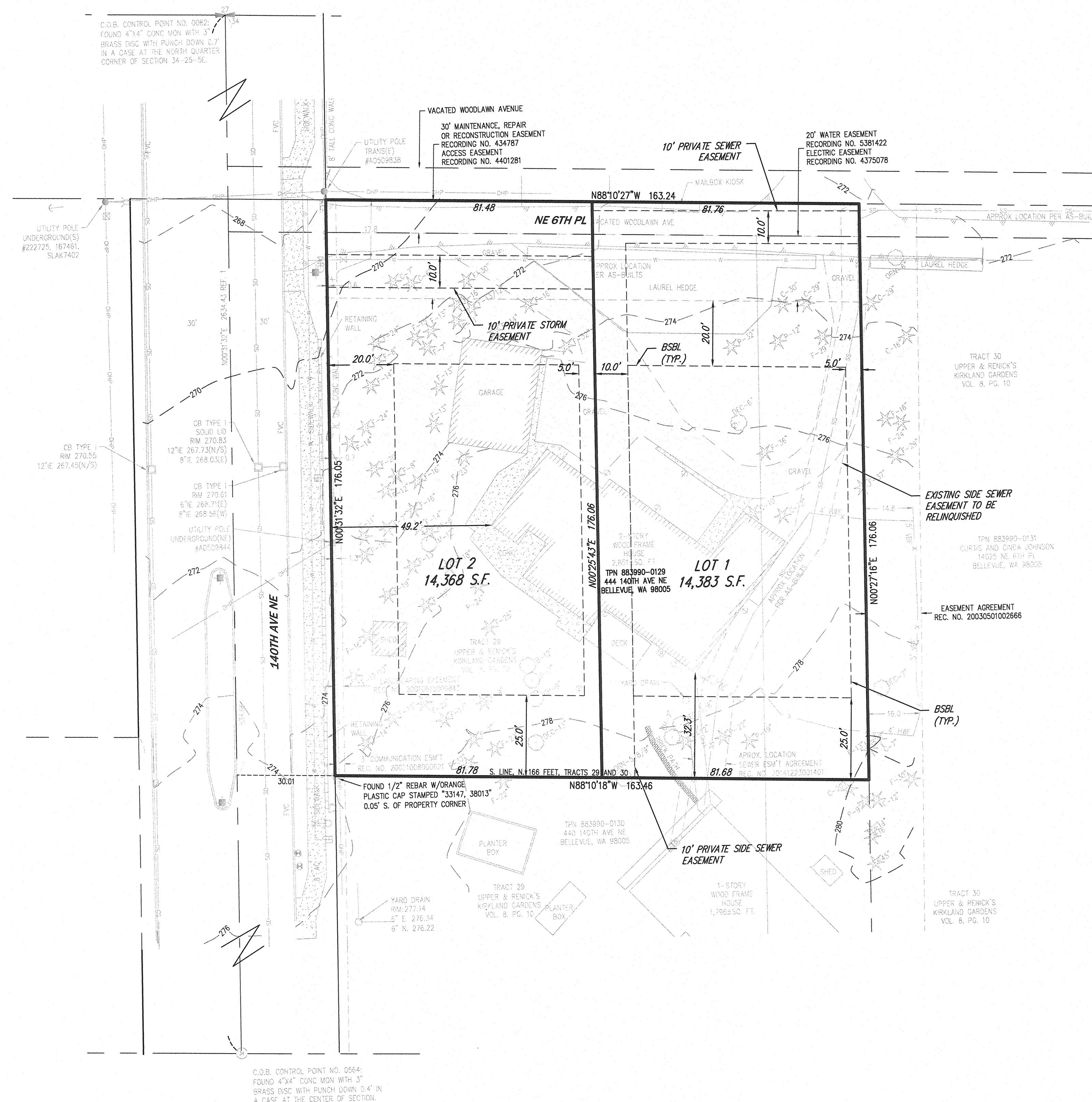
15-115181 LN

SHEET INDEX

1. PRELIMINARY SHORT PLAT
2. BOUNDARY/TOPOGRAPHIC SURVEY
3. PRELIMINARY CLEARING & GRADING PLAN
4. PRELIMINARY ROAD & UTILITY PLAN
5. PRELIMINARY TREE RETENTION PLAN

PRIVATE SANITARY SEWER EASEMENT PROVISIONS

THE PRIVATE SANITARY SEWER EASEMENT SHOWN OVER AND ACROSS THE WESTERLY PORTION OF LOT 1 IS ESTABLISHED FOR THE BENEFIT OF THE OWNER(S) OF LOT 2 AND 550 140TH AVENUE NE. THE COST OF MAINTENANCE, REPAIRS OR RECONSTRUCTION OF THAT PORTION OF THE SANITARY SEWER SYSTEM USED IN COMMON SHALL BE BORNE IN EQUAL SHARES, EXCEPT THAT THE OWNERS OF ANY LOWER PARCEL SHALL NOT BE RESPONSIBLE FOR THE PART OF THE SANITARY SEWER SYSTEM ABOVE THEIR CONNECTION; AND WHEN NECESSARY TO REPAIR, CLEAN OR RECONSTRUCT THE SANITARY SEWER SYSTEM, THE PROPERTY OWNER(S) TO WHOM THE EASEMENT BENEFITS SHALL HAVE A RIGHT OF ENTRY FOR THAT PURPOSE.

**TREE LEGEND**

- TREE TYPE
- AP APPLE
- BE BEECH
- C CEDAR
- ON CHESTNUT
- CY CHERRY
- DW DOGWOOD
- F FIR
- G GINKGO
- H HAWTHORNE
- K KATSURA
- L LAUREL
- MA MAGNOLIA
- O OAK
- P PINE
- S SPRUCE
- SB SERVICE BERRY
- SG SWEETGUM

LEGEND

- FIRE HYDRANT
- STREET LIGHT
- ⊗ WATER VALVE
- ⊞ MAIL BOX
- ⊕ GUY ANCHOR
- ⊙ SANITARY SEWER MANHOLE
- ⊙ SIGN
- ⊙ POWER VAULT
- ⊙ HORIZONTAL BOARD FENCE
- ⊙ ROCKERY
- OHP— OVERHEAD POWER
- SS— SANITARY SEWER MAINLINE
- SD— STORM DRAIN MAINLINE
- SP RECORD DISTANCE PER SHORT PLAT NO. 08-129330

VERTICAL DATUM

NAVD 88

BENCHMARKS

3" BRASS DISC W/PUNCH IN 4X4" CONCRETE MONUMENT IN CASE AT THE CENTERLINE INTERSECTION OF 140TH AVE NE & MAIN STREET CITY OF BELLEVUE BM NO. 653 ELEV = 281.82

BASIS OF BEARING

WASHINGTON COORDINATE SYSTEM NAD83(2011) PER REF. 1

LEGAL DESCRIPTION

THE NORTH 168 FEET OF TRACTS 29 AND 30, UPPER AND RENICK'S KIRKLAND GARDEN ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 8 OF PLATS, PAGE 10, RECORDS OF KING COUNTY, WASHINGTON:

EXCEPT THE EAST 130 OF TRACT 30; AND

EXCEPT THE WEST 20 FEET OF TRACT 29 CONDEMNED IN KING COUNTY SUPERIOR COURT CAUSE NO. 14471 FOR ROAD;

TOGETHER WITH THE SOUTH HALF OF VACATED WOODLAWN AVENUE ADJOINING OR ABUTTING ON THE NORTH, WHICH UPON VACATION, ATTACHED TO SAID TO SAID PREMISES BY OPERATION OF LAW.

RESTRICTIONS

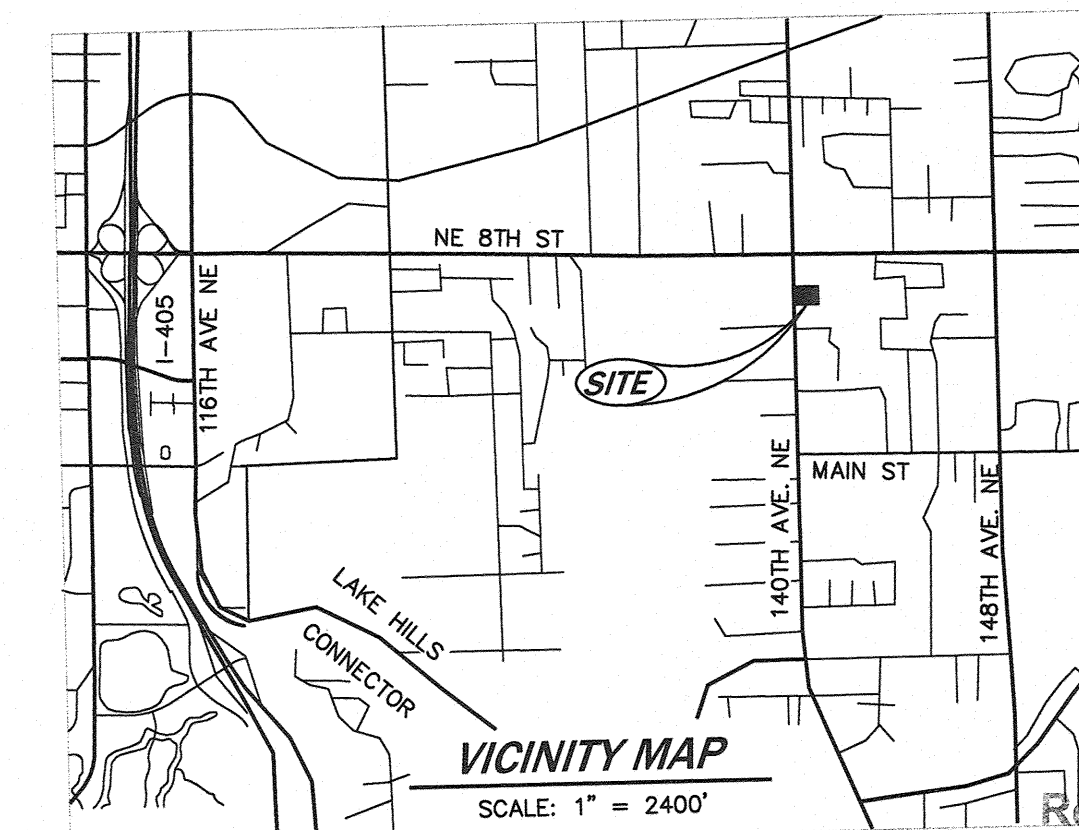
1. THIS SITE IS SUBJECT TO AN EASEMENT FOR BEARING A PROPORTIONATE OR EQUAL COST OF MAINTENANCE, REPAIR OR RECONSTRUCTION OF SAID ROAD BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 4343787. (SHOWN HEREON)
2. THIS SITE IS SUBJECT TO AN EASEMENT FOR THE RIGHT TO CUT BRUSH OR TREES, WHICH MAY CONSTITUTE A DANGER TO ELECTRIC TRANSMISSION AND/OR DISTRIBUTION SYSTEMS BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 4375078. (SHOWN HEREON)
3. THIS SITE IS SUBJECT TO AN EASEMENT FOR A PROVISION FOR BEARING A PROPORTIONATE OR EQUAL COST OF MAINTENANCE, REPAIR OR RECONSTRUCTION OF SAID ROAD RECORDED UNDER KING COUNTY RECORDING NUMBER 4401281. (SHOWN HEREON)
4. THIS SITE IS SUBJECT TO THE TERMS AND CONDITIONS OF AN EASEMENT GRANTED TO KING COUNTY WATER DISTRICT NUMBER 89 AS DISCLOSED BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 5381422. (SHOWN HEREON)
5. THIS SITE IS SUBJECT TO AN EASEMENT FOR A CONCRETE FENCE AND LANDSCAPING AS GRANTED TO THE CITY OF BELLEVUE BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 2001081500843. (SHOWN HEREON)
6. THIS SITE IS SUBJECT TO AN EASEMENT FOR AN UNDERGROUND NATURAL GAS FEEDER PIPE AS GRANTED TO JAMES H. KEEFFE, JR. AND SANDRA L. KEEFFE BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 20010912001043, AMENDMENT BY INSTRUMENT RECORDED UNDER RECORDING NUMBER 20141223001402. (NOTED HERE)
7. THIS SITE IS SUBJECT TO AN EASEMENT FOR TELECOMMUNICATIONS FACILITIES, ELECTRICAL FACILITIES AND GAS FACILITIES AND OTHER APPURTENANCES AS GRANTED TO THE QUEST CORPORATION BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 2002100800621. (SHOWN HEREON)
8. THIS SITE IS SUBJECT TO AN EASEMENT AGREEMENT FOR THE CARE AND GROWING OF VEGETATION BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 2003050100266. (SHOWN HEREON)
9. THIS SITE IS SUBJECT TO A SEWER LINE EASEMENT AGREEMENT BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 20141223001401. (NOTED HERE)
10. THIS SITE IS SUBJECT TO A DECLARATION, INCLUDING THE TERMS AND PROVISION THEREOF, BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 7505230424, SAID INSTRUMENT IS A RE-RECORD OF INSTRUMENT RECORDED UNDER RECORDING NUMBER 7409240528.
11. THIS SITE IS SUBJECT TO TERMS AND CONDITIONS OF NOTICE OF CHARGES BY WATER, SEWER, AND/OR STORM AND SURFACE WATER UTILITIES, RECORDED UNDER RECORDING NO. 9612200938
15. MATTERS DISCLOSED BY SURVEY RECORDED UNDER RECORDING 2003021890003.

REFERENCES

1. CITY OF BELLEVUE SHORT PLAT NO. 13-113007 LF RECORDED UNDER KING COUNTY RECORDING NUMBER 2013061490001.
2. SURVEY FOR JANELLE LYNN DURHAM BY MAIN-LINE SURVEYING RECORDED UNDER RECORDING NUMBER 2003021890003.

NOTES

1. ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM CHICAGO TITLE INSURANCE COMPANY ALTA COMMITMENT 0034529-08 DATED FEBRUARY 26, 2015. IN PREPARING THIS MAP, CORE DESIGN, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS CORE DESIGN, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY THE REFERENCED CHICAGO TITLE COMMITMENT. CORE DESIGN, INC. HAS RELIED WHOLLY ON CHICAGO TITLE'S REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND THEREFORE CORE DESIGN, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
1. THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENT CONDITIONS EXISTING ON MARCH 10, 2015. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN SEPTEMBER, 2012.
2. PROPERTY AREA = 28,751± SQUARE FEET (0.6600± ACRES).
3. ALL DISTANCES ARE IN FEET.
4. THIS IS A FIELD TRAVERSE SURVEY. A SOKKIA FIVE SECOND COMBINED ELECTRONIC TOTAL STATION WAS USED TO MEASURE THE ANGULAR AND DISTANCE RELATIONSHIPS BETWEEN THE CONTROLLING MONUMENTATION AS SHOWN. CLOSURE RATIOS OF THE TRAVERSE MET OR EXCEEDED THOSE SPECIFIED IN WAC 532-130-090. ALL MEASURING INSTRUMENTS AND EQUIPMENT ARE MAINTAINED IN ADJUSTMENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
5. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE ARE SHOWN HEREON. UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. UNDERGROUND CONNECTIONS ARE SHOWN AS STRAIGHT LINES BETWEEN SURFACE UTILITY LOCATIONS BUT MAY CONTAIN BENDS OR CURVES NOT SHOWN. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. CORE DESIGN ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS.



GRID NO.: I-7

UTILITY NO.: I-7

SITE ADDRESS: 444 140TH AVE NE

DATE	REVISIONS	NO.
7/17/15	1. REVISIONS PER CITY REVIEW	1
9/22/15	2. REVISIONS PER CITY REVIEW	2
10/22/15	3. REVISIONS PER CITY REVIEW	3
3/7/16	4. REVISIONS PER CITY REVIEW	4

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

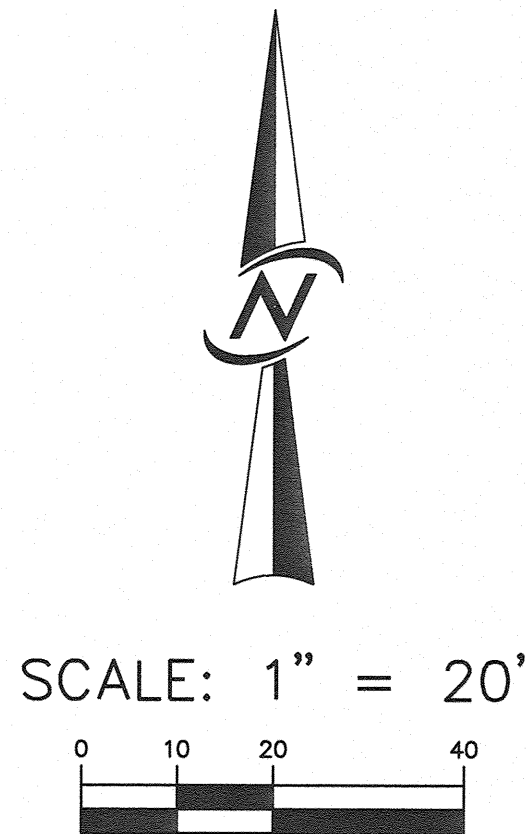
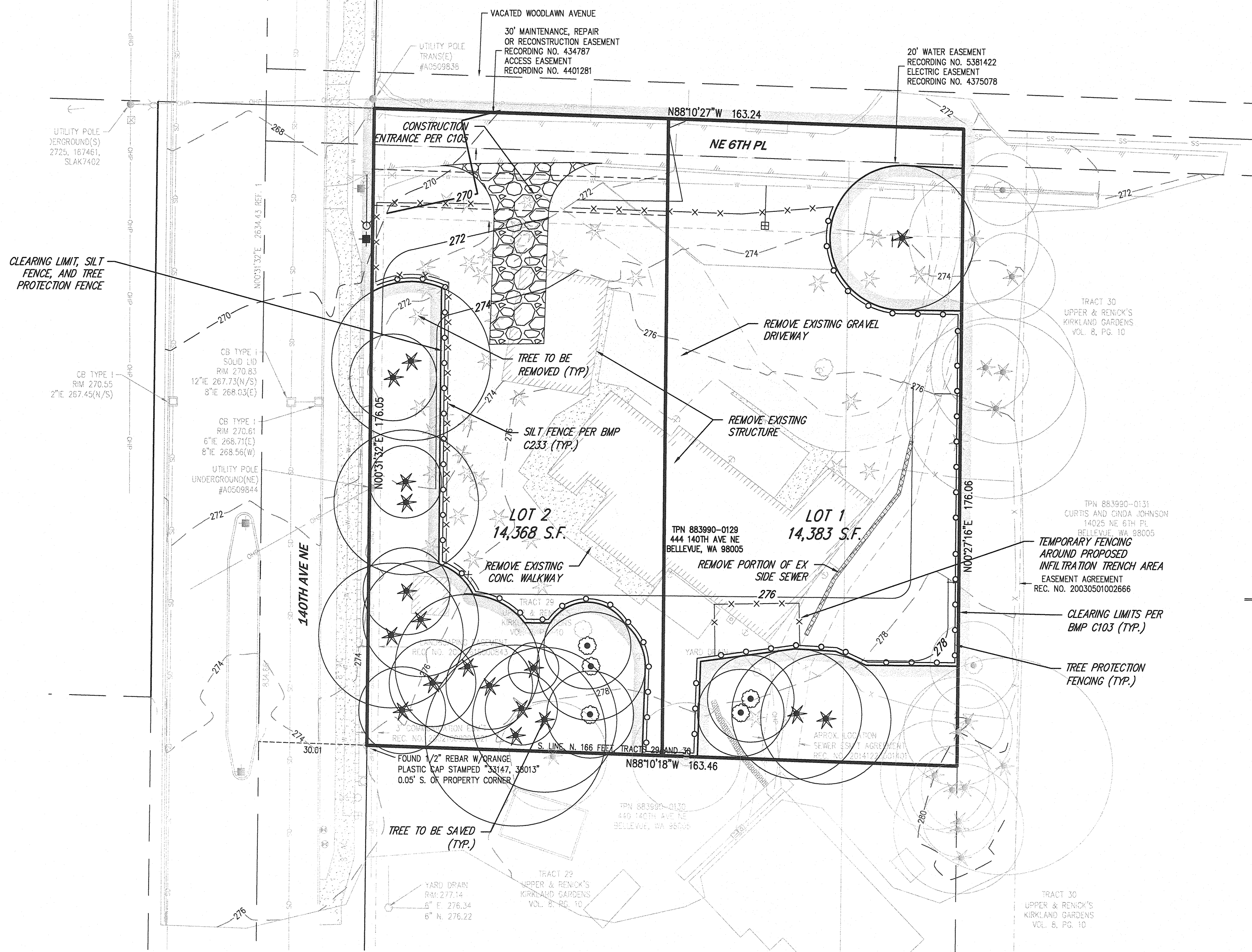
DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.

DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE

**LEGEND**

- | | | | |
|--|---------------------------------------|--|--|
| | FIRE HYDRANT | | OVERHEAD POWER |
| | STREET LIGHT | | SANITARY SEWER MAINLINE |
| | WATER VALVE | | STORM DRAIN MAINLINE |
| | MAIL BOX | | RECORD DISTANCE PER SHORT PLAT NO. 08-129330 |
| | GUY ANCHOR | | |
| | SANITARY SEWER MANHOLE | | |
| | SIGN | | |
| | POWER VAULT | | |
| | HBF= HORIZONTAL BOARD FENCE | | |
| | ROCKERY | | |
| | —X—X—X FILTER FABRIC FENCE | | |
| | INTERCEPTOR SWALE | | |
| | CONSTRUCTION ACCESS | | |
| | LIMITS OF CLEARING | | |
| | CHECK DAM | | |
| | STORM DRAIN INLET PROTECTION | | |
| | SIGNIFICANT TREES TO BE SAVED | | |
| | TREES TO BE REMOVED | | |
| | POSSIBLE TREE TO BE SAVED IF FEASIBLE | | |

TREE LEGEND

- TREE TYPE
- | | |
|----|---------------|
| AP | APPLE |
| BE | BEECH |
| CE | CEDAR |
| CN | CHESTNUT |
| CH | CHERRY |
| DW | DOGWOOD |
| F | FIR |
| G | GINKGO |
| H | HAWTHORNE |
| K | KATSURA |
| L | LAUREL |
| MA | MAGNOLIA |
| O | OAK |
| P | PINE |
| S | SPRUCE |
| SB | SERVICE BERRY |
| SG | SWEETGUM |

NOTE: ALL CLEARING, GRADING AND UTILITY INFORMATION SHOWN IS FOR CONCEPTUAL DESIGN ONLY. FINAL CLEARING, GRADING AND UTILITY WORK WILL BE PROCESSED DURING BUILDING PERMIT APPLICATION REVIEW.

CLEARING AND GRADING STANDARD NOTES

- All clearing & grading construction must be in accordance with City of Bellevue (COB) *Clearing & Grading Code*; *Clearing & Grading Erosion Control Standard Details (EC-1 through EC-23)*; *Development Standards*; *Land Use Code*; *Uniform Building Code*; permit conditions; and all other applicable codes, ordinances, and standards. The design elements within these plans have been reviewed according to these requirements. Any variance from adopted erosion control standards is not allowed unless specifically approved by the City of Bellevue Department of Planning & Community Development (PCD) prior to construction.
It is the sole responsibility of the applicant and the professional civil engineer to correct any error, omission, or variation from the above requirements found in these plans. All corrections will be at no additional cost or liability to the COB. All details for structural walls, rockeries over four feet in height, geogrid reinforced rockeries, and geogrid reinforced modular block walls must be stamped by a professional engineer.
- A copy of the approved plans must be on-site during construction. The applicant is responsible for obtaining any other required or related permits prior to beginning construction.
- All locations of existing utilities have been established by field survey or obtained from available records and should, therefore, be considered only approximate and not necessarily complete. It is the sole responsibility of the contractor to independently verify the accuracy of all utility locations and to discover and avoid any other utilities not shown which may be affected by the implementation of this plan.
- The area to be cleared and graded must be flagged by the contractor and approved by the clearing & grading inspector prior to beginning any work on the site.
- A reinforced silt fence must be installed in accordance with COB EC-5 and located as shown on the approved plans or per the clearing & grading inspector, along slope contours and down slope from the building site.
- A hard-surface construction access pad is required per Clearing & Grading Standard Detail EC-1 or EC-2. This pad must remain in place until paving is installed.
- Clearing will be limited to the areas within the approved disturbance limits. Exposed soils must be covered at the end of each working day when working from October 1st through April 30th. From May 1st through September 30th, exposed soils must be covered at the end of each construction week and also at the threat of rain.
- Any excavated material removed from the construction site and deposited on property within the City limits must be done in compliance with a valid clearing & grading permit. Locations for the mobilization area and stockpiled material must be approved by the clearing & grading inspector at least 24 hours in advance of any stockpiling.
- To reduce the potential for erosion of exposed soils, or when rainy season construction is permitted, the following Best Management Practices (BMPs) are required:
 - Preserve natural vegetation for as long as possible or as required by the clearing & grading inspector.
 - Protect exposed soil using plastic (EC-14), erosion control blankets, straw or mulch (COB Guide to Mulch Materials, Rates, and Use Chart), or as directed by the clearing & grading inspector.
 - Install catch basin inserts as required by the clearing & grading inspector or permit conditions of approval.
 - Install a temporary sediment pond, a series of sedimentation tanks, temporary filter vaults, or other sediment control facilities. Installation of exposed aggregate surfaces requires a separate effluent collection pond on-site.
- Final site grading must direct drainage away from all building structures at a minimum 2% slope, per the *Uniform Building Code*.
- The contractor must maintain a sweeper on-site during earthwork and immediately remove soil that has been tracked onto paved areas as result of construction.
- A public information sign listing 24-hour emergency phone numbers for the city and the contractor may be provided to the applicant at the time the clearing & grading permit is issued. The applicant must post the sign at the project site in full view of the public and the contractors, and it must remain posted until final sign-off by the clearing & grading inspector.
- Turbidity monitoring may be required as a condition of clearing & grading permit approval. If required, turbidity monitoring must be performed in accordance with the approved turbidity monitoring plan and as directed by the clearing & grading inspector. Monitoring must continue during site (earthwork) construction until the final sign-off by the clearing & grading inspector.
- Any project that is subject to Rainy Season Restrictions will not be allowed to perform clearing & grading activities without written approval from the PCD director. The rainy season extends from November 1st through April 30th, as defined in section 23.76.093A of the *Clearing & Grading Code*.

VERTICAL DATUM

NAVD 88

BENCHMARKS

3" BRASS DISC W/PUNCH IN 4x4" CONCRETE MONUMENT IN CASE AT THE CENTERLINE INTERSECTION OF 140TH AVE NE & MAIN STREET
CITY OF BELLEVUE BM NO. 653
ELEV = 281.82

BASIS OF BEARING

WASHINGTON COORDINATE SYSTEM NAD83(2011) PER REF. 1

LEGAL DESCRIPTION

THE NORTH 166 FEET OF TRACTS 29 AND 30, UPPER AND RENICK'S KIRKLAND GARDEN ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 8 OF PLATS, PAGE 10, RECORDS OF KING COUNTY, WASHINGTON:

EXCEPT THE EAST 130 OF TRACT 30; AND

EXCEPT THE WEST 20 FEET OF TRACT 29 CONDEMNED IN KING COUNTY SUPERIOR COURT CAUSE NO. 14471 FOR ROAD;

TOGETHER WITH THE SOUTH HALF OF VACATED WOODLAWN AVENUE ADJOINING OR ABUTTING ON THE NORTH, WHICH UPON VACATION, ATTACHED TO SAID TO SAID PREMISES BY OPERATION OF LAW.

RESTRICTIONS

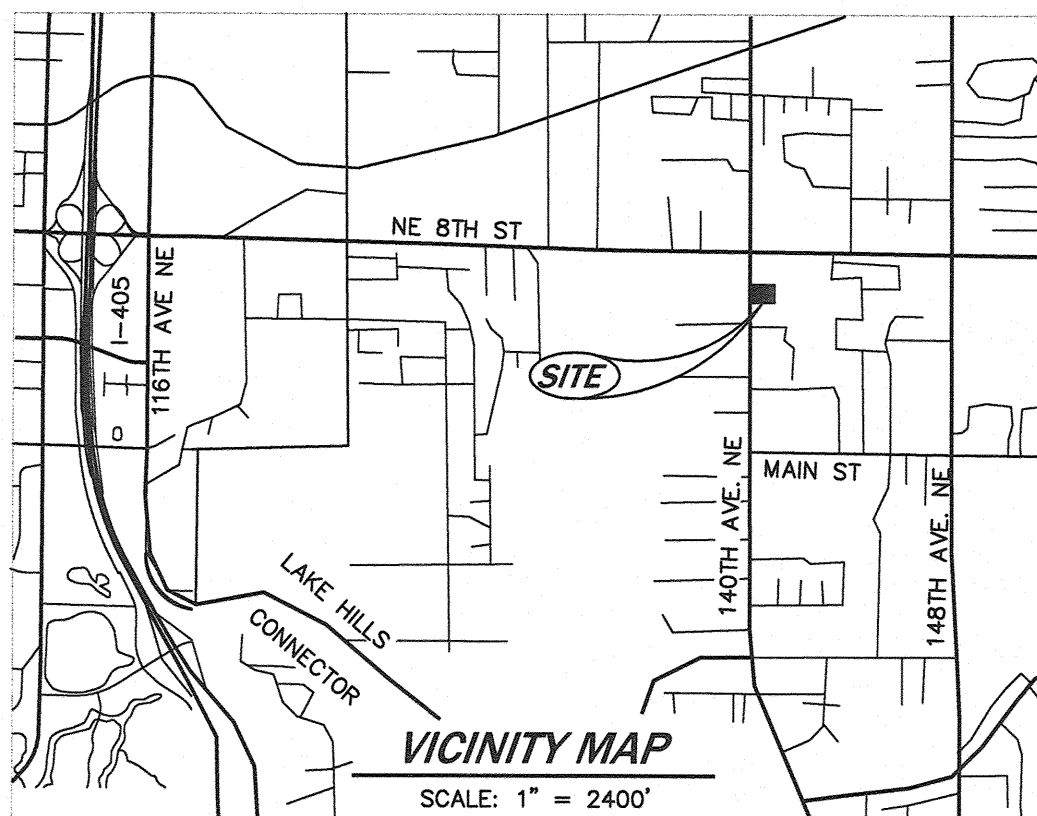
- THIS SITE IS SUBJECT TO AN EASEMENT FOR A PROMSION FOR BEARING A PROPORTIONATE OR EQUAL COST OF MAINTENANCE, REPAIR OR RECONSTRUCTION OF SAID ROAD BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 4343787, (SHOWN HEREON)
- THIS SITE IS SUBJECT TO AN EASEMENT FOR THE RIGHT TO CUT BRUSH OR TREES, WHICH MAY CONSTITUTE A DANGER TO ELECTRIC TRANSMISSION AND/OR DISTRIBUTION SYSTEMS BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 4375078, (SHOWN HEREON)
- THIS SITE IS SUBJECT TO AN EASEMENT FOR A PROMSION FOR BEARING A PROPORTIONATE OR EQUAL COST OF MAINTENANCE, REPAIR OR RECONSTRUCTION OF SAID ROAD RECORDED UNDER KING COUNTY RECORDING NUMBER 20021008000551, (SHOWN HEREON)
- THIS SITE IS SUBJECT TO THE TERMS AND CONDITIONS OF AN EASEMENT GRANTED TO KING COUNTY WATER DISTRICT NUMBER 99 AS DISCLOSED BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 5381422, (SHOWN HEREON)
- THIS SITE IS SUBJECT TO AN EASEMENT FOR A CONCRETE FENCE AND LANDSCAPING AS GRANTED TO THE CITY OF BELLEVUE BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 20010615000984, (SHOWN HEREON).
- THIS SITE IS SUBJECT TO AN EASEMENT FOR AN UNDERGROUND NATURAL GAS FEEDER PIPE AS GRANTED TO JAMES H. KEEFFE, JR. AND SANDRA L. KEEFFE BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 20010912001043, AMENDMENT BY INSTRUMENT RECORDED UNDER RECORDING NUMBER 20141223001402, (NOTED HERE).
- THIS SITE IS SUBJECT TO AN EASEMENT FOR TELECOMMUNICATIONS FACILITIES, ELECTRICAL FACILITIES AND GAS FACILITIES AND OTHER APPURTENANCES AS GRANTED TO THE QUEST CORPORATION BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 20021008000621, (SHOWN HEREON)
- THIS SITE IS SUBJECT TO AN EASEMENT AGREEMENT FOR THE CARE AND GROWING OF VEGETATION BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 20030501002666, (SHOWN HEREON)
- THIS SITE IS SUBJECT TO A SEWER LINE EASEMENT AGREEMENT BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 20141223001401, (NOTED HERE)
- THIS SITE IS SUBJECT TO A DECLARATION, INCLUDING THE TERMS AND PROVISION THEREOF, BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 7505230424, SAID INSTRUMENT IS A RE-RECORD OF INSTRUMENT RECORDED UNDER RECORDING NUMBER 7409240526.
- THIS SITE IS SUBJECT TO TERMS AND CONDITIONS OF NOTICE OF CHARGES BY WATER, SEWER, AND/OR STORM AND SURFACE WATER UTILITIES, RECORDED UNDER RECORDING NO. 9612200938
- MATTERS DISCLOSED BY SURVEY RECORDED UNDER RECORDING 2003021890003.

REFERENCES

- CITY OF BELLEVUE SHORT PLAT NO. 13-113007 LF RECORDED UNDER KING COUNTY RECORDING NUMBER 2013061490001.
- SURVEY FOR JANELLE LYNN DURHAM BY MAIN-LINE SURVEYING RECORDED UNDER RECORDING NUMBER 2003021890003.

NOTES

- ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM CHICAGO TITLE INSURANCE COMPANY ALTA COMMITMENT 0034529-06 DATED FEBRUARY 26, 2015. IN PREPARING THIS MAP, CORE DESIGN, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS CORE DESIGN, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY THE REFERENCED CHICAGO TITLE COMMITMENT. CORE DESIGN, INC. HAS RELIED WHOLLY ON CHICAGO TITLE'S REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND THEREFORE CORE DESIGN, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
- THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENT CONDITIONS EXISTING ON MARCH 10, 2015. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN SEPTEMBER, 2012.
- PROPERTY AREA = 28,751± SQUARE FEET (0.6600± ACRES).
- ALL DISTANCES ARE IN FEET.
- THIS IS A FIELD TRAVERSE SURVEY. A SOKKIA FIVE SECOND COMBINED ELECTRONIC TOTAL STATION WAS USED TO MEASURE THE ANGULAR AND DISTANCE RELATIONSHIPS BETWEEN THE CONTROLLING MONUMENTATION AS SHOWN. CLOSURE RATIOS OF THE TRAVERSE MET OR EXCEEDED THOSE SPECIFIED IN WAC 332-130-090. ALL MEASURING INSTRUMENTS AND EQUIPMENT ARE MAINTAINED IN ADJUSTMENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE ARE SHOWN HEREON. UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. UNDERGROUND CONNECTIONS ARE SHOWN AS STRAIGHT LINES BETWEEN SURFACE UTILITY LOCATIONS BUT MAY CONTAIN BENDS OR CURVES NOT SHOWN. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. CORE DESIGN ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS.



GRID NO.: I-7
UTILITY NO.: I-7
SITE ADDRESS: 444 140TH AVE NE

NO.	REVISIONS	DATE
1	REVISIONS PER CITY REVIEW	7/7/15
2	REVISIONS PER CITY REVIEW	9/2/15
3	REVISIONS PER CITY REVIEW	10/21/15
4	REVISIONS PER CITY REVIEW	3/1/16



14711 NE 29th Place Suite 101
Bellevue, Washington 98007
425.885.7877 Fax 425.885.7943



PRELIMINARY CLEARING & GRADING PLAN

KEEFFE II

BERKSHIRE HOME BUILDERS, LLC

14410 BEL-RED ROAD
BELLEVUE, WA 98007

DATE	DESIGNED	DRAWN	APPROVED	PROJECT MANAGER
MAY 2015	SHERI H. MURATA, P.E.	RANDY LAMERE	SHERI H. MURATA, P.E.	JAMES A. OLSEN, P.E.
SHEET	OF	PROJECT NUMBER		
3	5	15029		

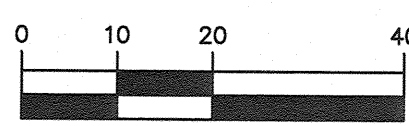
Received

MAR 07 2016

Permit Processing



SCALE: 1" = 20'

**ENGINEER/SURVEYOR
PLANNER/LANDSCAPE**

CORE DESIGN, INC.
14711 N.E. 29TH PL. SUITE 101
BELLEVUE, WA 98007
(425) 885-7877
CONTACT: SHERI MURATA, P.E.
BOB WEST, P.L.S.
LAKE HERMANSEN
LINDSEY SOLARIO, P.L.A.

OWNER/APPLICANT

BERKSHIRE HOME BUILDERS, LLC
14410 BEL-RED ROAD
BELLEVUE, WA 98007
(425) 644-2323
CONTACT: NAPOLEON ESPERANZA

EXISTING PROPERTY OWNER:
JAMES H AND SANDRA LEE KEEFFE

DENSITY CALCULATIONS

GROSS SITE AREA: 28,751 S.F. (0.66± AC.)
NET SITE AREA: 28,751 S.F. (0.66± AC.)
LOTS ALLOWED: 2.0 DU (1.52 DU)
LOTS PROPOSED: 2.0 DU

SETBACKS

	CODE	PROPOSED
FRONT	20	20
SIDE	5	5
STREET SIDEYARD	10	10
REAR	25	25

SITE STATISTICS

LAND USE CODE R-2.5
SITE AREA 28,751 S.F.

	CODE REQ'D	PROPOSED
MINIMUM LOT AREA (BOC 20.20.010)	13,500 S.F.	14,368 S.F.
TOTAL NUMBER OF DWELLING UNITS	2 (1.72)	2
MAXIMUM BUILDING HEIGHT	35'	35'
MAXIMUM BUILDING COVERAGE	55%	55%
MAXIMUM IMPERVIOUS SURFACE	50%	50%
MINIMUM LANDSCAPE PERCENTAGE OF FRONT YARD SETBACK	50%	50%

PERMIT NUMBER

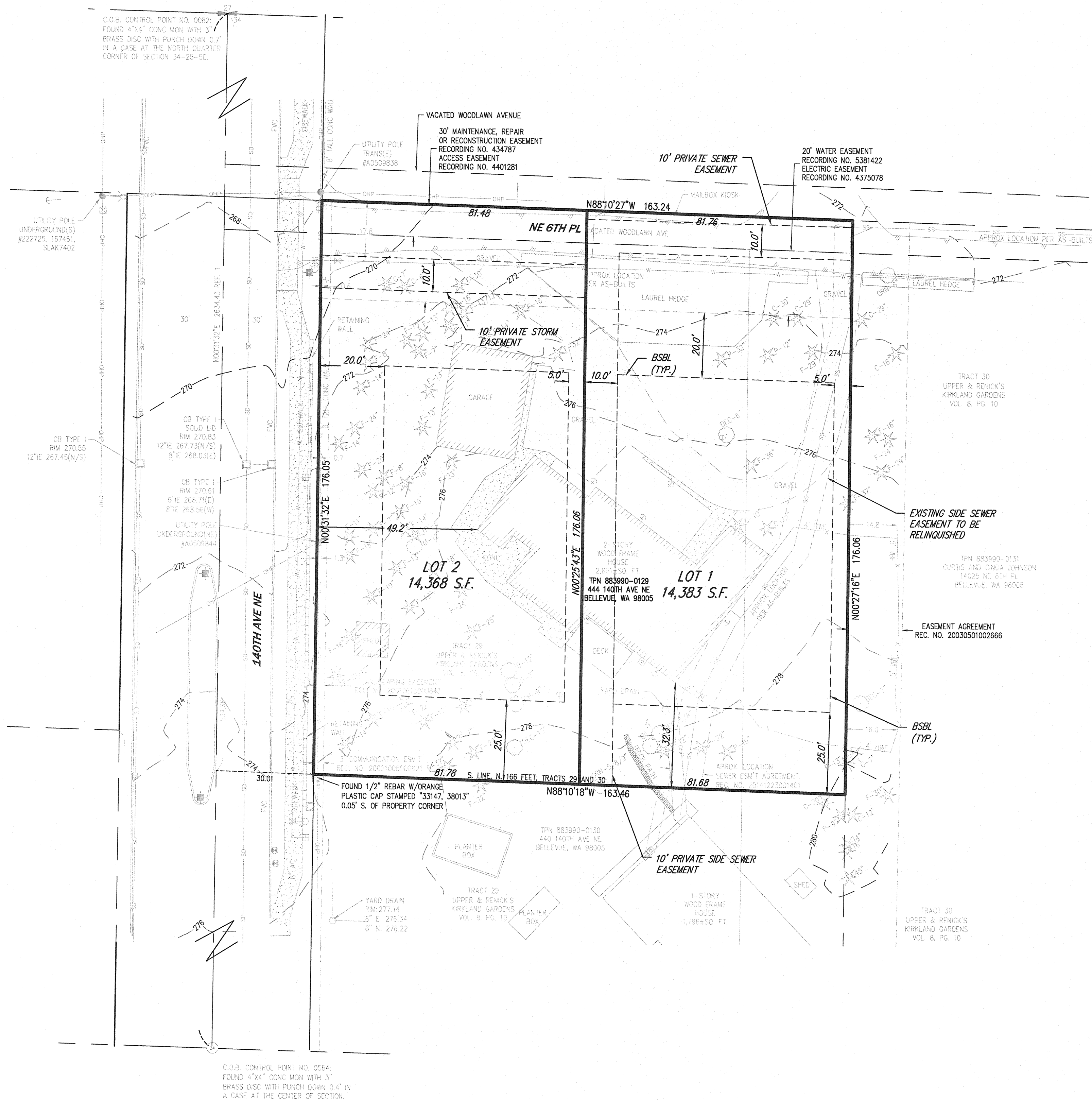
15-115181 LN

SHEET INDEX

- 1 PRELIMINARY SHORT PLAT
- 2 BOUNDARY/TOPOGRAPHIC SURVEY
- 3 PRELIMINARY CLEARING & GRADING PLAN
- 4 PRELIMINARY ROAD & UTILITY PLAN
- 5 PRELIMINARY TREE RETENTION PLAN

PRIVATE SANITARY SEWER EASEMENT PROVISIONS

THE PRIVATE SANITARY SEWER EASEMENT SHOWN OVER AND ACROSS THE WESTERNLY PORTION OF LOT 1 IS ESTABLISHED FOR THE BENEFIT OF THE OWNER(S) OF LOT 2 AND 550 140TH AVENUE NE. THE COST OF MAINTENANCE, REPAIRS OR RECONSTRUCTION OF THAT PORTION OF THE SANITARY SEWER SYSTEM USED IN COMMON SHALL BE BORNE IN EQUAL SHARES, EXCEPT THAT THE OWNERS OF ANY LOWER PARCEL SHALL NOT BE RESPONSIBLE FOR THE PART OF THE SANITARY SEWER SYSTEM ABOVE THEIR CONNECTION, AND WHEN NECESSARY TO REPAIR, CLEAN OR RECONSTRUCT THE SANITARY SEWER SYSTEM, THE PROPERTY OWNER(S) TO WHOM THE EASEMENT BENEFITS SHALL HAVE A RIGHT OF ENTRY FOR THAT PURPOSE.

**TREE LEGEND**

- TREE TYPE
- AP APPLE
- BE BEECH
- C CEDAR
- CN CHESTNUT
- CY CHERRY
- DW DOGWOOD
- F FIR
- G GINKGO
- H HAWTHORNE
- K KATSURA
- L LAUREL
- MA MAGNOLIA
- O OAK
- P PINE
- S SPRUCE
- SB SERVICE BERRY
- SG SWEETGUM

LEGEND

- ⊙ FIRE HYDRANT
- ⊙ STREET LIGHT
- ⊙ WATER VALVE
- ⊙ MAIL BOX
- ⊙ GUY ANCHOR
- ⊙ SANITARY SEWER MANHOLE
- ⊙ SIGN
- ⊙ POWER VAULT
- ⊙ HORIZONTAL BOARD FENCE
- ⊙ ROCKERY
- OHP— OVERHEAD POWER
- SS— SANITARY SEWER MAINLINE
- SD— STORM DRAIN MAINLINE
- SP RECORD DISTANCE PER SHORT PLAT NO. 08-129330

VERTICAL DATUM

NAVD 88

BENCHMARKS

3" BRASS DISC W/PUNCH IN 4X4" CONCRETE MONUMENT IN CASE AT THE CENTERLINE INTERSECTION OF 140TH AVE NE & MAIN STREET CITY OF BELLEVUE BM NO. 653 ELEV = 281.82

BASIS OF BEARING

WASHINGTON COORDINATE SYSTEM NAD83(2011) PER REF. 1

LEGAL DESCRIPTION

THE NORTH 166 FEET OF TRACTS 29 AND 30, UPPER AND RENICK'S KIRKLAND GARDEN ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 8 OF PLATS, PAGE 10, RECORDS OF KING COUNTY, WASHINGTON.

EXCEPT THE EAST 130 OF TRACT 30: AND

EXCEPT THE WEST 20 FEET OF TRACT 29 CONDEMNED IN KING COUNTY SUPERIOR COURT CAUSE NO. 14471 FOR ROAD:

TOGETHER WITH THE SOUTH HALF OF VACATED WOODLAWN AVENUE ADJOINING OR ABUTTING ON THE NORTH, WHICH UPON VACATION, ATTACHED TO SAID TO SAID PREMISES BY OPERATION OF LAW.

RESTRICTIONS

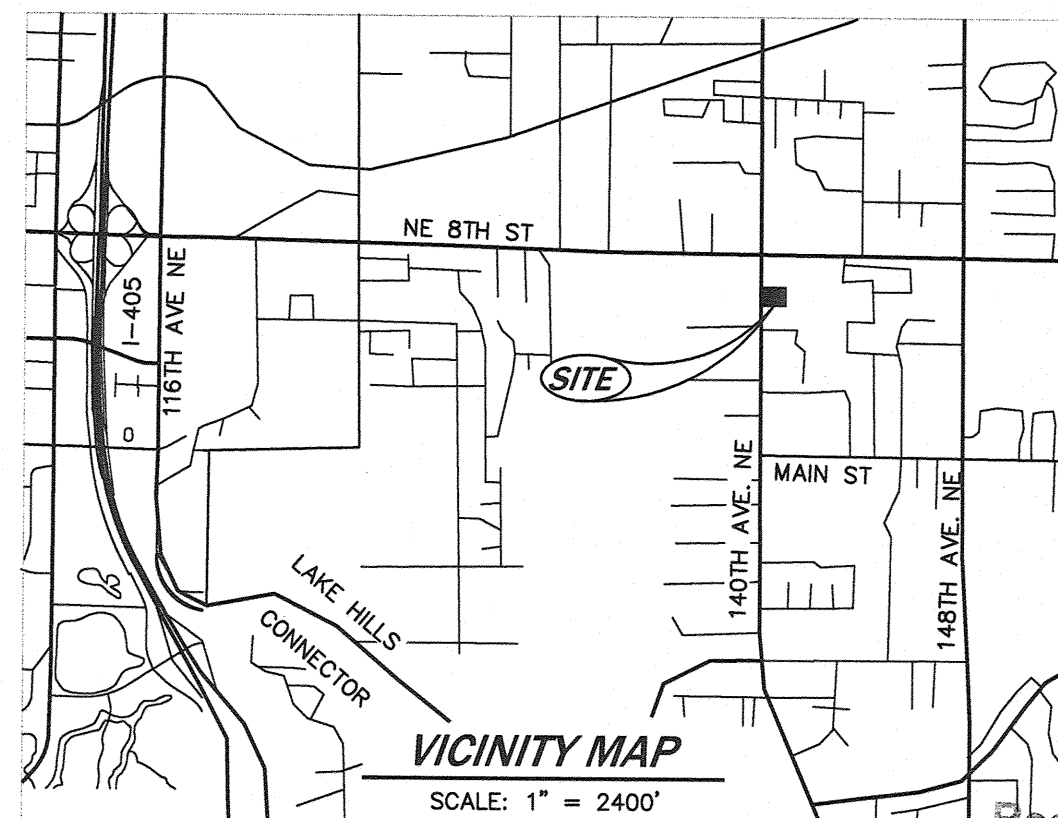
1. THIS SITE IS SUBJECT TO AN EASEMENT FOR A PROVISION FOR BEARING A PROPORTIONATE OR EQUAL COST OF MAINTENANCE, REPAIR OR RECONSTRUCTION OF SAID ROAD BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 4343787. (SHOWN HEREON)
2. THIS SITE IS SUBJECT TO AN EASEMENT FOR THE RIGHT TO CUT BRUSH OR TREES, WHICH MAY CONSTITUTE A DANGER TO ELECTRIC TRANSMISSION AND/OR DISTRIBUTION SYSTEMS BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 4375078. (SHOWN HEREON)
3. THIS SITE IS SUBJECT TO AN EASEMENT FOR A PROVISION FOR BEARING A PROPORTIONATE OR EQUAL COST OF MAINTENANCE, REPAIR OR RECONSTRUCTION OF SAID ROAD RECORDED UNDER KING COUNTY RECORDING NUMBER 4401281. (SHOWN HEREON)
4. THIS SITE IS SUBJECT TO THE TERMS AND CONDITIONS OF AN EASEMENT GRANTED TO KING COUNTY WATER DISTRICT NUMBER 99 AS DISCLOSED BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 5381422. (SHOWN HEREON)
5. THIS SITE IS SUBJECT TO AN EASEMENT FOR A CONCRETE FENCE AND LANDSCAPING AS GRANTED TO THE CITY OF BELLEVUE BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 20010815000843. (SHOWN HEREON)
6. THIS SITE IS SUBJECT TO AN EASEMENT FOR AN UNDERGROUND NATURAL GAS FEEDER PIPE AS GRANTED TO JAMES H. KEEFFE, JR. AND SANDRA L. KEEFFE BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 20010912001043, AMENDMENT BY INSTRUMENT RECORDED UNDER RECORDING NUMBER 20141223001402. (NOTED HERE)
7. THIS SITE IS SUBJECT TO AN EASEMENT FOR TELECOMMUNICATIONS FACILITIES, ELECTRICAL FACILITIES AND GAS FACILITIES AND OTHER APPURTENANCES AS GRANTED TO THE QUEST CORPORATION BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 20021008000621. (SHOWN HEREON)
8. THIS SITE IS SUBJECT TO AN EASEMENT AGREEMENT FOR THE CARE AND GROWING OF VEGETATION BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 20030501002666. (SHOWN HEREON)
9. THIS SITE IS SUBJECT TO A SEWER LINE EASEMENT AGREEMENT BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 20141223001401. (NOTED HERE)
10. THIS SITE IS SUBJECT TO A DECLARATION, INCLUDING THE TERMS AND PROVISION THEREOF, BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 7505230424, SAID INSTRUMENT IS A RE-RECORD OF INSTRUMENT RECORDED UNDER RECORDING NO. 9612200938
11. THIS SITE IS SUBJECT TO TERMS AND CONDITIONS OF NOTICE OF CHARGES BY WATER, SEWER, AND/OR STORM AND SURFACE WATER UTILITIES, RECORDED UNDER RECORDING NO. 9612200938
12. MATTERS DISCLOSED BY SURVEY RECORDED UNDER RECORDING 2003021890003.

REFERENCES

1. CITY OF BELLEVUE SHORT PLAT NO. 13-113007 LF RECORDED UNDER KING COUNTY RECORDING NUMBER 20130614900001.
2. SURVEY FOR JANELLE LYNN DURHAM BY MAIN-LINE SURVEYING RECORDED UNDER RECORDING NUMBER 20030218900003.

NOTES

1. ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM CHICAGO TITLE INSURANCE COMPANY ALTA COMMITMENT 0345429-06 DATED FEBRUARY 26, 2015. IN PREPARING THIS MAP, CORE DESIGN, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS CORE DESIGN, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY THE REFERENCED CHICAGO TITLE COMMITMENT. CORE DESIGN, INC. HAS RELIED WHOLLY ON CHICAGO TITLE'S REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND THEREFORE CORE DESIGN, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
2. THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENT CONDITIONS EXISTING ON MARCH 10, 2015. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN SEPTEMBER, 2012.
3. PROPERTY AREA = 28,751± SQUARE FEET (0.6600± ACRES).
4. ALL DISTANCES ARE IN FEET.
5. THIS IS A FIELD TRAVERSE SURVEY. A SOKKIA FIVE SECOND COMBINED ELECTRONIC TOTAL STATION WAS USED TO MEASURE THE ANGULAR AND DISTANCE RELATIONSHIPS BETWEEN THE CONTROLLING MONUMENTATION AS SHOWN. CLOSURE RATIOS OF THE TRAVERSE MET OR EXCEEDED THOSE SPECIFIED IN WAC 332-130-090. ALL MEASURING INSTRUMENTS AND EQUIPMENT ARE MAINTAINED IN ADJUSTMENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
6. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE ARE SHOWN HEREON. UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. UNDERGROUND CONNECTIONS ARE SHOWN AS STRAIGHT LINES BETWEEN SURFACE UTILITY LOCATIONS BUT MAY CONTAIN BENDS OR CURVES NOT SHOWN. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. CORE DESIGN ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS.



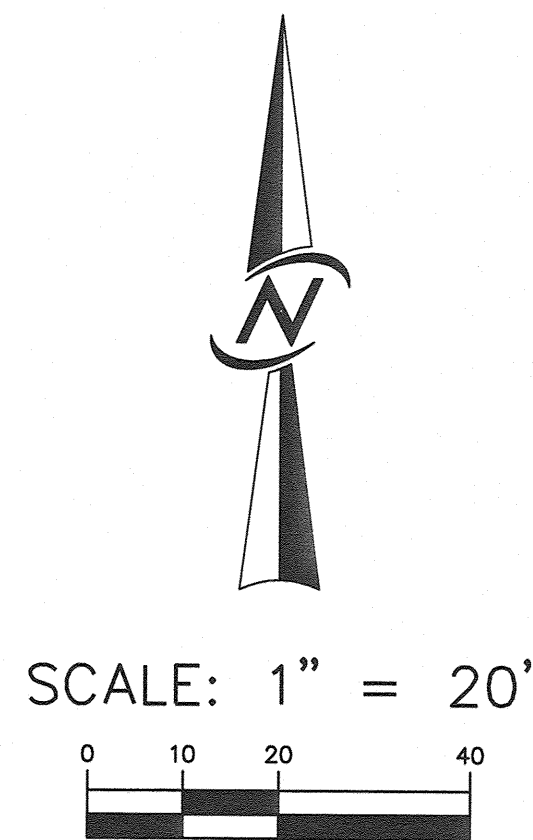
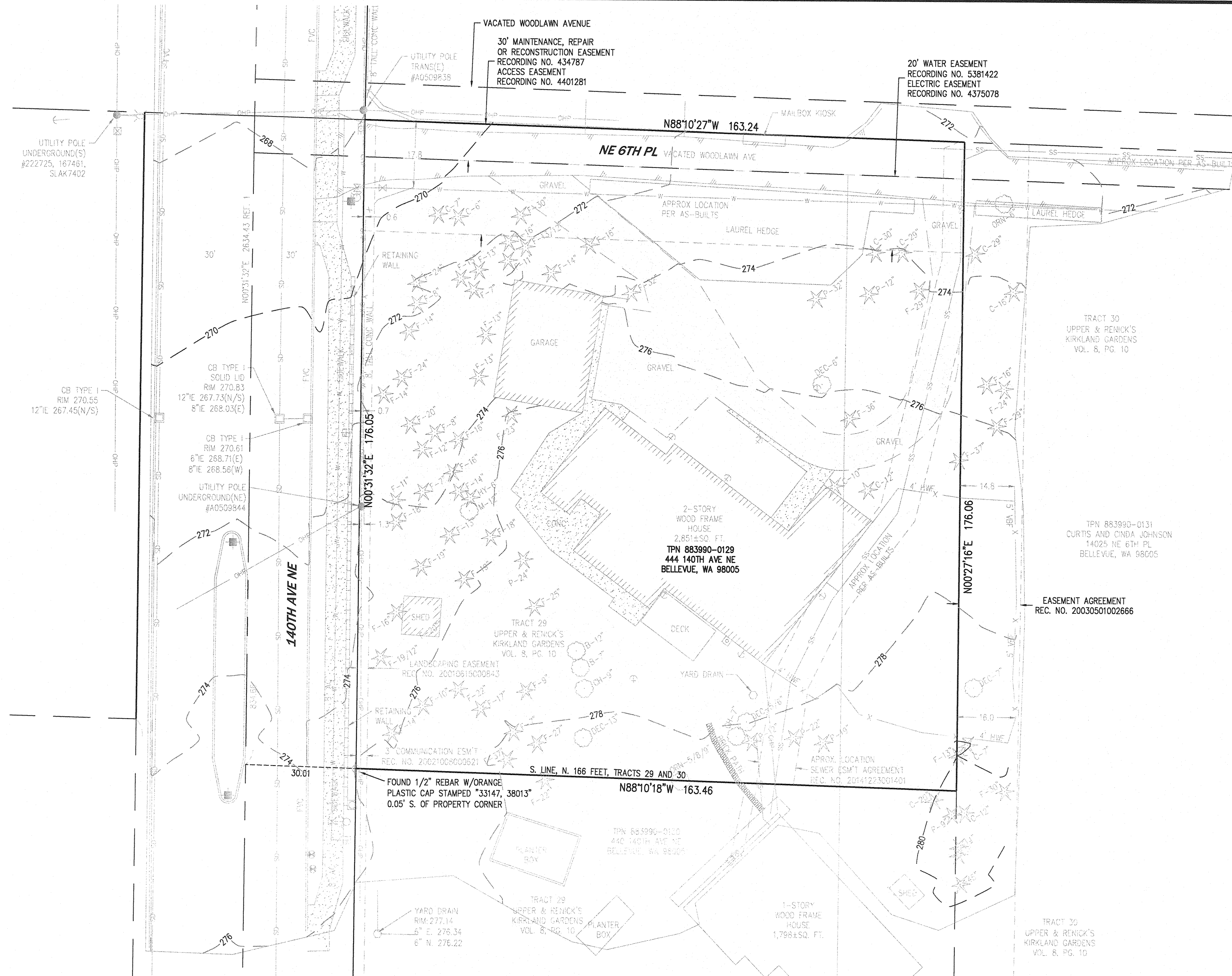
SCALE: 1" = 2400'

GRID NO.: I-7

UTILITY NO.: I-7

SITE ADDRESS: 444 140TH AVE NE

DATE	7/17/15	REVISIONS	1	REVISIONS PER CITY REVIEW	1
DATE	9/2/15	REVISIONS	2	REVISIONS PER CITY REVIEW	2
DATE	10/21/15	REVISIONS	3	REVISIONS PER CITY REVIEW	3
DATE	3/1/16	REVISIONS	4	REVISIONS PER CITY REVIEW	4
NO.	1	NO.	2	NO.	3
DATE	7/17/15	DATE	9/2/15	DATE	10/21/15
DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.
DATE	MAY 2015	DATE	MAY 2015	DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.
DATE	MAY 2015	DATE	MAY 2015	DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.
DATE	MAY 2015	DATE	MAY 2015	DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.
DATE	MAY 2015	DATE	MAY 2015	DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.
DATE	MAY 2015	DATE	MAY 2015	DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.
DATE	MAY 2015	DATE	MAY 2015	DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.
DATE	MAY 2015	DATE	MAY 2015	DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.
DATE	MAY 2015	DATE	MAY 2015	DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.
DATE	MAY 2015	DATE	MAY 2015	DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.
DATE	MAY 2015	DATE	MAY 2015	DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.
DATE	MAY 2015	DATE	MAY 2015	DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.
DATE	MAY 2015	DATE	MAY 2015	DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.
DATE	MAY 2015	DATE	MAY 2015	DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.
DATE	MAY 2015	DATE	MAY 2015	DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.
DATE	MAY 2015	DATE	MAY 2015	DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.
DATE	MAY 2015	DATE	MAY 2015	DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.
DATE	MAY 2015	DATE	MAY 2015	DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.
PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.	PROJECT MANAGER	JAMES A. OLSEN, P.E.
DATE	MAY 2015	DATE	MAY 2015	DATE	MAY 2015
DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.	DESIGNED	SHERI H. MURATA, P.E.
DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE	DRAWN	RANDY LAMERE
APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.	APPROVED	SHERI H. MURATA, P.E.
PROJECT					

**TREE LEGEND**

TREE TYPE	
AP	APPLE
BE	BEECH
C	CEDAR
CN	CHESTNUT
CY	CHERRY
DW	DOGWOOD
F	FIR
G	GINKGO
H	HAWTHORNE
K	KATSURA
L	LAUREL
MA	MAGNOLIA
O	OAK
P	PINE
S	SPRUCE
SB	SERVICE BERRY
SG	SWEETGUM

LEGEND

	FIRE HYDRANT		—OHP— OVERHEAD POWER
	STREET LIGHT		—SS— SANITARY SEWER MAINLINE
	WATER VALVE		—SD— STORM DRAIN MAINLINE
	MAIL BOX		SP RECORD DISTANCE PER SHORT PLAT NO. 08-129330
	GUY ANCHOR		
	SANITARY SEWER MANHOLE		
	SIGN		
	POWER VAULT		
	HBF= HORIZONTAL BOARD FENCE		
	ROCKERY		

VERTICAL DATUM

NAVD 88

BENCHMARKS

3" BRASS DISC W/PUNCH IN 4X4" CONCRETE MONUMENT IN CASE AT THE CENTERLINE INTERSECTION OF 140TH AVE NE & MAIN STREET CITY OF BELLEVUE BM NO. 653
ELEV = 281.82

BASIS OF BEARING

WASHINGTON COORDINATE SYSTEM NAD83(2011) PER REF. 1

LEGAL DESCRIPTION

THE NORTH 166 FEET OF TRACTS 29 AND 30, UPPER AND RENICK'S KIRKLAND GARDEN ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 8 OF PLATS, PAGE 10, RECORDS OF KING COUNTY, WASHINGTON:

EXCEPT THE EAST 130 OF TRACT 30; AND

EXCEPT THE WEST 20 FEET OF TRACT 29 CONDEMNED IN KING COUNTY SUPERIOR COURT CAUSE NO. 14471 FOR ROAD.

TOGETHER WITH THE SOUTH HALF OF VACATED WOODLAWN AVENUE ADJOINING OR ABUTTING ON THE NORTH, WHICH UPON VACATION, ATTACHED TO SAID TO SAID PREMISES BY OPERATION OF LAW.

RESTRICTIONS

- THIS SITE IS SUBJECT TO AN EASEMENT FOR A PROVISION FOR BEARING A PROPORTIONATE OR EQUAL COST OF MAINTENANCE, REPAIR OR RECONSTRUCTION OF SAID ROAD BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 434787. (SHOWN HEREON)
- THIS SITE IS SUBJECT TO AN EASEMENT FOR THE RIGHT TO CUT BRUSH OR TREES, WHICH MAY CONSTITUTE A DANGER TO ELECTRIC TRANSMISSION AND/OR DISTRIBUTION SYSTEMS BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 4375078. (SHOWN HEREON)
- THIS SITE IS SUBJECT TO AN EASEMENT FOR A PROVISION FOR BEARING A PROPORTIONATE OR EQUAL COST OF MAINTENANCE, REPAIR OR RECONSTRUCTION OF SAID ROAD RECORDED UNDER KING COUNTY RECORDING NUMBER 200210800551. (SHOWN HEREON)
- THIS SITE IS SUBJECT TO THE TERMS AND CONDITIONS OF AN EASEMENT GRANTED TO KING COUNTY WATER DISTRICT NUMBER 99 AS DISCLOSED BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 5381422. (SHOWN HEREON)
- THIS SITE IS SUBJECT TO AN EASEMENT FOR A CONCRETE FENCE AND LANDSCAPING AS GRANTED TO THE CITY OF BELLEVUE BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 201061500864. (SHOWN HEREON).
- THIS SITE IS SUBJECT TO AN EASEMENT FOR AN UNDERGROUND NATURAL GAS FEEDER PIPE AS GRANTED TO JAMES H. KEEFFE, JR. AND SANDRA L. KEEFFE BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 20010912001043, AMENDMENT BY INSTRUMENT RECORDED UNDER RECORDING NUMBER 20141223001402. (NOTED HERE).
- THIS SITE IS SUBJECT TO AN EASEMENT FOR TELECOMMUNICATIONS FACILITIES, ELECTRICAL FACILITIES AND GAS FACILITIES AND OTHER APPURTENANCES AS GRANTED TO THE QUEST CORPORATION BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 2002100800621. (SHOWN HEREON)
- THIS SITE IS SUBJECT TO AN EASEMENT AGREEMENT FOR THE CARE AND GROWING OF VEGETATION BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 20030501002666. (SHOWN HEREON)
- THIS SITE IS SUBJECT TO A SEWER LINE EASEMENT AGREEMENT BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 20141223001401. (NOTED HERE)
- THIS SITE IS SUBJECT TO A DECLARATION, INCLUDING THE TERMS AND PROVISION THEREOF, BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 7505230424, SAID INSTRUMENT IS A RE-RECORD OF INSTRUMENT RECORDED UNDER RECORDING NUMBER 7409240528.
- THIS SITE IS SUBJECT TO TERMS AND CONDITIONS OF NOTICE OF CHARGES BY WATER, SEWER, AND/OR STORM AND SURFACE WATER UTILITIES, RECORDED UNDER RECORDING NO. 9612200938
- MATTERS DISCLOSED BY SURVEY RECORDED UNDER RECORDING 2003021890003.

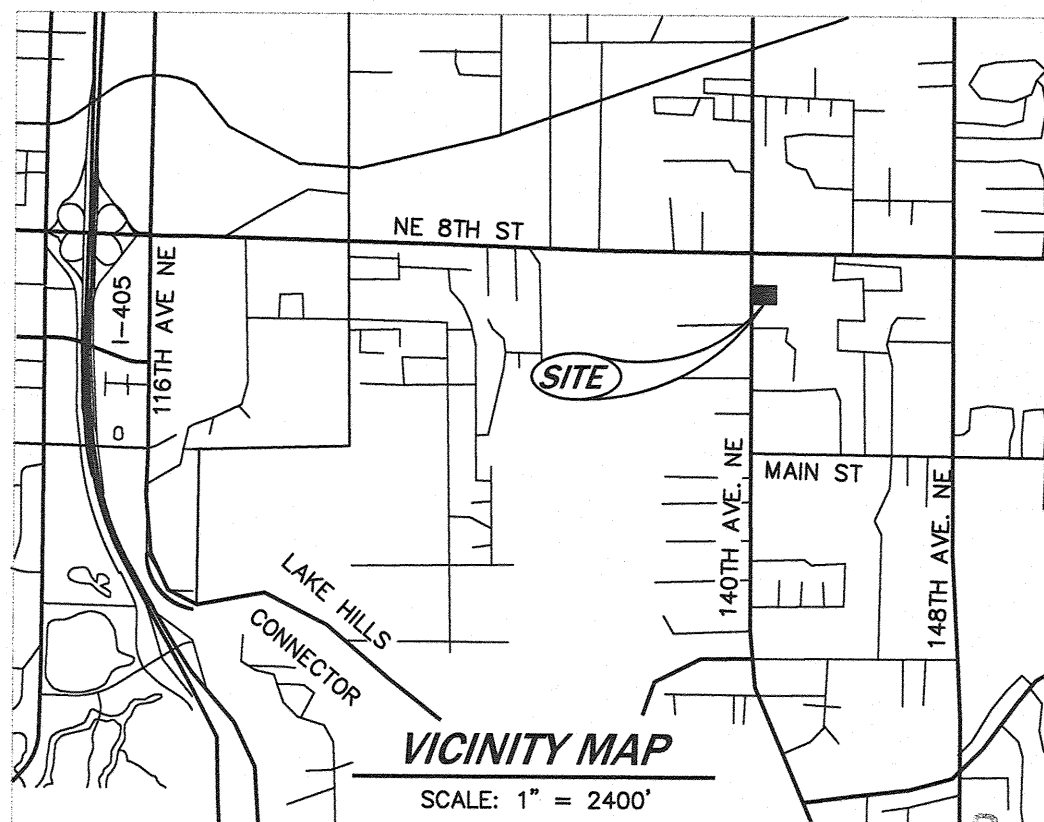
REFERENCES

- CITY OF BELLEVUE SHORT PLAT NO. 13-113007 LF RECORDED UNDER KING COUNTY RECORDING NUMBER 2013061490001.
- SURVEY FOR JANELLE LYNN DURHAM BY MAIN-LINE SURVEYING RECORDED UNDER RECORDING NUMBER 2003021890003.

NOTES

1. ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM CHICAGO TITLE INSURANCE COMPANY ALTA COMMITMENT 0034529-06 DATED FEBRUARY 26, 2015. IN PREPARING THIS MAP, CORE DESIGN, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS CORE DESIGN, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY THE REFERENCED CHICAGO TITLE COMMITMENT. CORE DESIGN, INC. HAS RELIED WHOLLY ON CHICAGO TITLE'S REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND THEREFORE CORE DESIGN, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.

- THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENT CONDITIONS EXISTING ON MARCH 10, 2015. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN SEPTEMBER, 2012.
- PROPERTY AREA = 28,751± SQUARE FEET (0.6600± ACRES).
- ALL DISTANCES ARE IN FEET.
- THIS IS A FIELD TRAVERSE SURVEY. A SOKKIA FIVE SECOND COMBINED ELECTRONIC TOTAL STATION WAS USED TO MEASURE THE ANGULAR AND DISTANCE RELATIONSHIPS BETWEEN THE CONTROLLING MONUMENTATION AS SHOWN. CLOSURE RATIOS OF THE TRAVERSE MET OR EXCEEDED THOSE SPECIFIED IN WAC 332-130-090. ALL MEASURING INSTRUMENTS AND EQUIPMENT ARE MAINTAINED IN ADJUSTMENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE ARE SHOWN HEREON. UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. UNDERGROUND CONNECTIONS ARE SHOWN AS STRAIGHT LINES BETWEEN SURFACE UTILITY LOCATIONS BUT MAY CONTAIN BENDS OR CURVES NOT SHOWN. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. CORE DESIGN ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS.



GRID NO.: I-7
UTILITY NO.: I-7
SITE ADDRESS: 444 140TH AVE NE

DATE	DESIGNED	DRAWN	APPROVED	PROJECT MANAGER
MAY 2015	SHERI H. MURATA, P.E.	RANDY LAMERE	SHERI H. MURATA, P.E.	JAMES A. OLSEN, P.E.
7/17/15				
9/2/15				
10/27/15				
3/1/16				
REVISIONS	NO.	REVISIONS PER CITY REVIEW	NO.	REVISIONS PER CITY REVIEW
1	1	1	1	1
2	2	2	2	2
3	3	3	3	3
4	4	4	4	4

14711 NE 29th Place Suite 101
Bellevue, Washington 98007
425.885.7877 Fax 425.885.7963

CORE DESIGN
ENGINEERING • PLANNING • SURVEYING

Received

MAR 07 2016

Permit Processing

SHEET

2

OF

PROJECT NUMBER

45029

Received	3	5
MAR 07 2016	PROJECT NUMBER	
Permit Processing	15029	

VERTICAL DATUM

NAVD 88

BENCHMARKS

3" BRASS DISC W/PUNCH IN 4X4" CONCRETE MONUMENT IN CASE AT THE CENTERLINE INTERSECTION OF 140TH AVE NE & MAIN STREET CITY OF BELLEVUE BM NO. 653
ELEV = 281.82

BASIS OF BEARING

WASHINGTON COORDINATE SYSTEM NAD83(2011) PER REF. 1

LEGAL DESCRIPTION

THE NORTH 166 FEET OF TRACTS 29 AND 30, UPPER AND RENICK'S KIRKLAND GARDEN ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 8 OF PLATS, PAGE 16, RECORDS OF KING COUNTY, WASHINGTON:

EXCEPT THE EAST 130 OF TRACT 30; AND

EXCEPT THE WEST 20 FEET OF TRACT 29 CONDEMNED IN KING COUNTY SUPERIOR COURT CAUSE NO. 14471 FOR ROAD;

TOGETHER WITH THE SOUTH HALF OF VACATED WOODLAWN AVENUE ADJOINING OR ABUTTING ON THE NORTH, WHICH UPON VACATION, ATTACHED TO SAID TO SAID PREMISES BY OPERATION OF LAW.

RESTRICTIONS

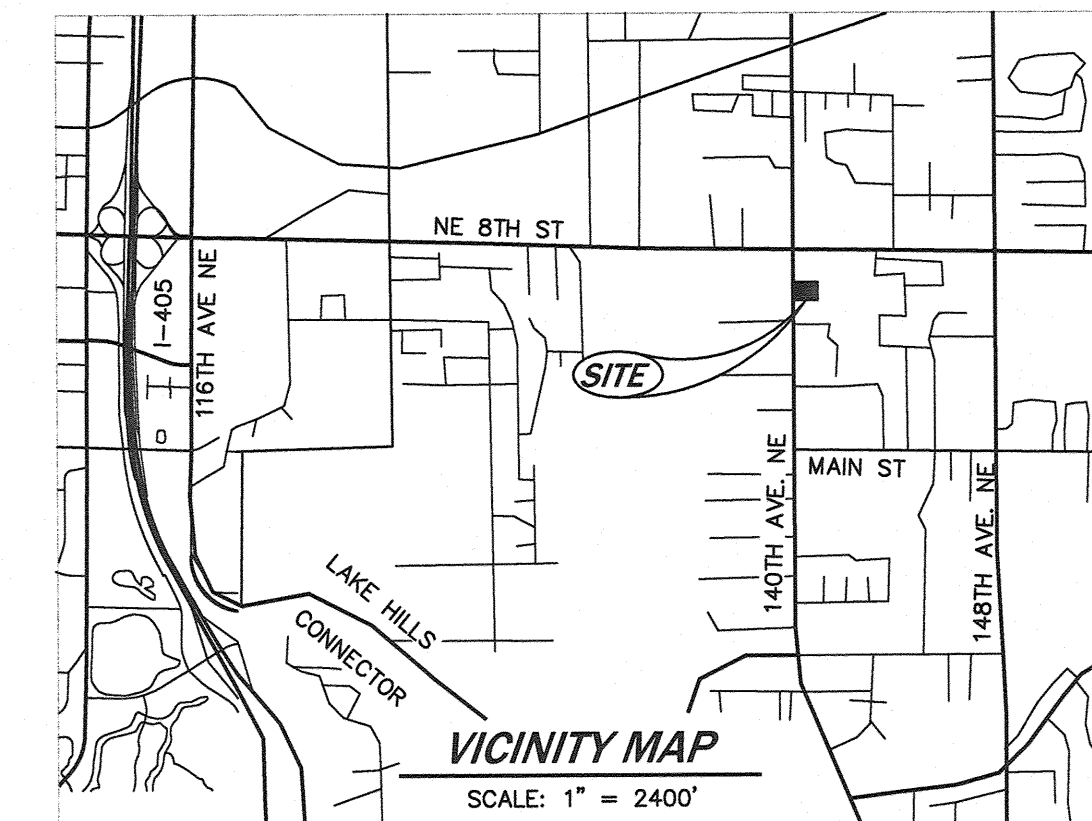
1. THIS SITE IS SUBJECT TO AN EASEMENT FOR A PROVISION FOR BEARING A PROPORTIONATE OR EQUAL COST OF MAINTENANCE, REPAIR OR RECONSTRUCTION OF SAID ROAD BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 4343787. (SHOWN HEREON)
2. THIS SITE IS SUBJECT TO AN EASEMENT FOR THE RIGHT TO CUT BRUSH OR TREES, WHICH MAY CONSTITUTE A DANGER TO ELECTRIC TRANSMISSION AND/OR DISTRIBUTION SYSTEMS BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 4375078. (SHOWN HEREON)
3. THIS SITE IS SUBJECT TO AN EASEMENT FOR A PROVISION FOR BEARING A PROPORTIONATE OR EQUAL COST OF MAINTENANCE, REPAIR OR RECONSTRUCTION OF SAID ROAD RECORDED UNDER KING COUNTY RECORDING NUMBER 2002108000551. (SHOWN HEREON)
4. THIS SITE IS SUBJECT TO THE TERMS AND CONDITIONS OF AN EASEMENT GRANTED TO KING COUNTY WATER DISTRICT NUMBER 89 AS DISCLOSED BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 5381422. (SHOWN HEREON)
5. THIS SITE IS SUBJECT TO AN EASEMENT FOR A CONCRETE FENCE AND LANDSCAPING AS GRANTED TO THE CITY OF BELLEVUE BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 2001081500084. (SHOWN HEREON)
6. THIS SITE IS SUBJECT TO AN EASEMENT FOR AN UNDERGROUND NATURAL GAS FEEDER PIPE AS GRANTED TO JAMES H. KEEFFE, JR. AND SANDRA L. KEEFFE BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 20010912001043, AMENDMENT BY INSTRUMENT RECORDED UNDER RECORDING NUMBER 20141223001402. (NOTED HERE)
7. THIS SITE IS SUBJECT TO AN EASEMENT FOR TELECOMMUNICATIONS FACILITIES, ELECTRICAL FACILITIES AND GAS FACILITIES AND OTHER APPURTENANCES AS GRANTED TO THE QUEST CORPORATION BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 20021008000621. (SHOWN HEREON)
8. THIS SITE IS SUBJECT TO AN EASEMENT AGREEMENT FOR THE CARE AND GROWING OF VEGETATION BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 20030501002666. (SHOWN HEREON)
9. THIS SITE IS SUBJECT TO A SEWER LINE EASEMENT AGREEMENT BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 20141223001401. (NOTED HERE)
10. THIS SITE IS SUBJECT TO A DECLARATION, INCLUDING THE TERMS AND PROVISION THEREOF, BY INSTRUMENT RECORDED UNDER KING COUNTY RECORDING NUMBER 7505230424, SAID INSTRUMENT IS A RE-RECORD OF INSTRUMENT RECORDED UNDER RECORDING NUMBER 7409240528.
11. THIS SITE IS SUBJECT TO TERMS AND CONDITIONS OF NOTICE OF CHARGES BY WATER, SEWER, AND/OR STORM AND SURFACE WATER UTILITIES, RECORDED UNDER RECORDING NO. 9612200938
15. MATTERS DISCLOSED BY SURVEY RECORDED UNDER RECORDING 2003021890003.

REFERENCES

1. CITY OF BELLEVUE SHORT PLAT NO. 13-113007 LF RECORDED UNDER KING COUNTY RECORDING NUMBER 20130614900001.
2. SURVEY FOR JANELLE LYNN DURHAM BY MAIN-LINE SURVEYING RECORDED UNDER RECORDING NUMBER 20030218900003.

NOTES

1. ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM CHICAGO TITLE INSURANCE COMPANY ALTA COMMITMENT 0034529-06 DATED FEBRUARY 26, 2015. IN PREPARING THIS MAP, CORE DESIGN, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS CORE DESIGN, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY THE REFERENCED CHICAGO TITLE COMMITMENT. CORE DESIGN, INC. HAS RELIED WHOLLY ON CHICAGO TITLE'S REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND THEREFORE CORE DESIGN, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
1. THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENT CONDITIONS EXISTING ON MARCH 10, 2015. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN SEPTEMBER, 2012.
2. PROPERTY AREA = 28,751± SQUARE FEET (0.6600± ACRES).
3. ALL DISTANCES ARE IN FEET.
4. THIS IS A FIELD TRAVERSE SURVEY. A SOKKIA FIVE SECOND COMBINED ELECTRONIC TOTAL STATION WAS USED TO MEASURE THE ANGULAR AND DISTANCE RELATIONSHIPS BETWEEN THE CONTROLLING MONUMENTATION AS SHOWN. CLOSURE RATIOS OF THE TRAVERSE NET OR EXCEEDED THOSE SPECIFIED IN WAC 332-130-050. ALL MEASURING INSTRUMENTS AND EQUIPMENT ARE MAINTAINED IN ADJUSTMENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
5. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE ARE SHOWN HEREON. UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. UNDERGROUND CONNECTIONS ARE SHOWN AS STRAIGHT LINES BETWEEN SURFACE UTILITY LOCATIONS BUT MAY CONTAIN BENDS OR CURVES NOT SHOWN. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. CORE DESIGN ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS.



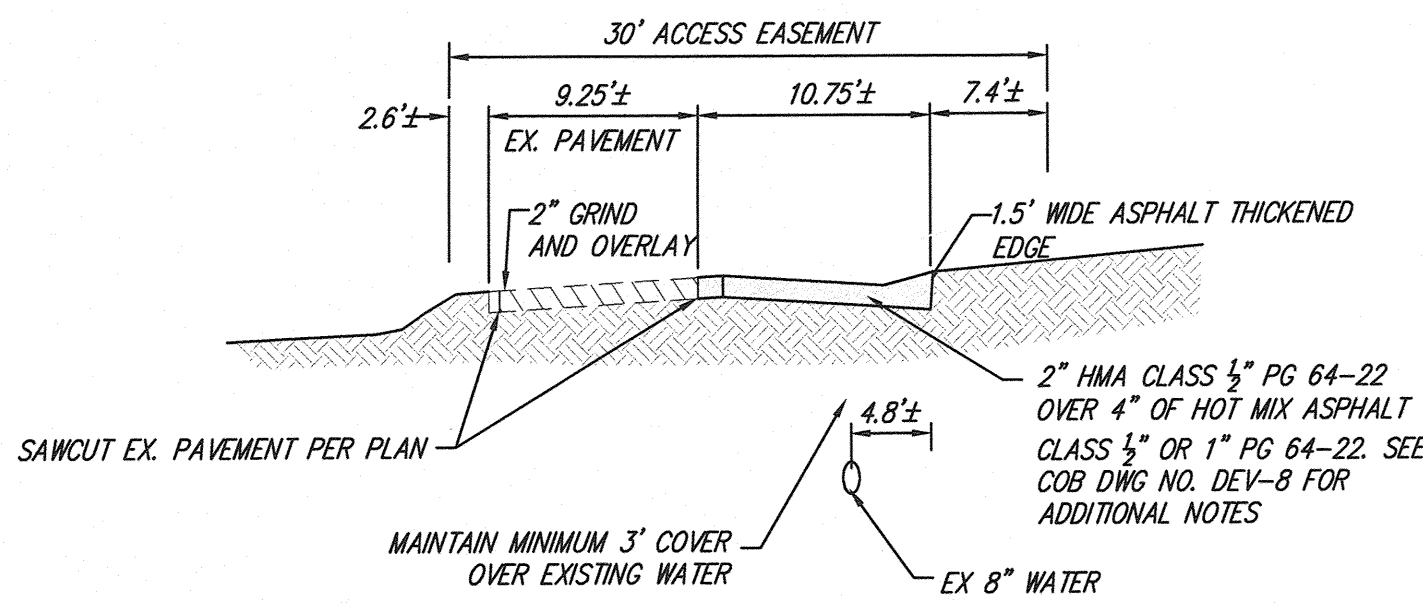
GRID NO.: I-7
UTILITY NO.: I-7
SITE ADDRESS: 444 140TH AVE NE

Received

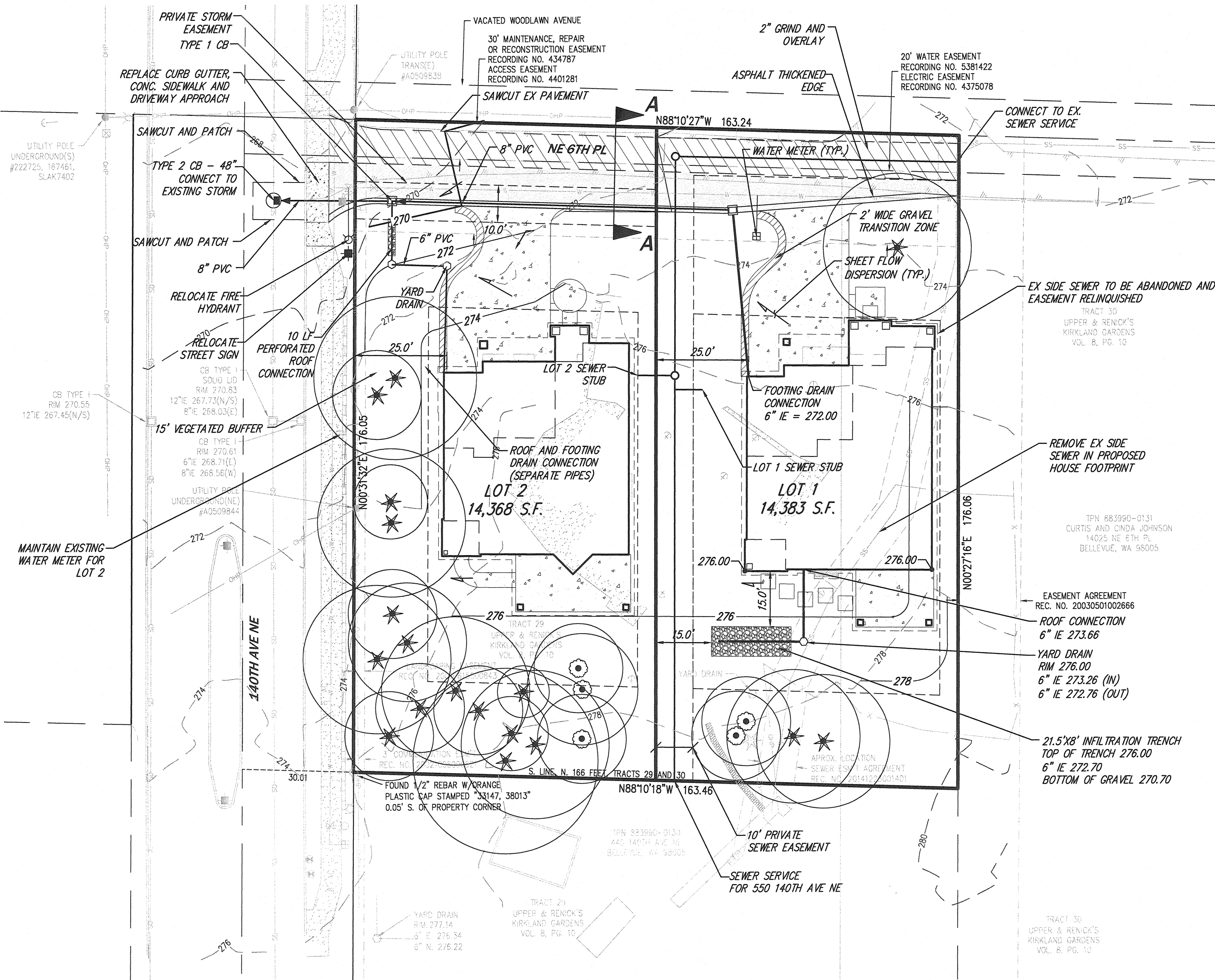
MAR 07 2016

PROJECT NUMBER

15029



NE 6TH STREET
SECTION A-A
NO SCALE



NOTE: ALL CLEARING, GRADING AND UTILITY INFORMATION SHOWN IS FOR CONCEPTUAL DESIGN ONLY. FINAL CLEARING, GRADING AND UTILITY WORK WILL BE PROCESSED DURING BUILDING PERMIT APPLICATION REVIEW.

TREE LEGEND

- TREE TYPE
- AP APPLE
 - BE BEECH
 - C CEDAR
 - CN CHESTNUT
 - CY CHERRY
 - DW DOGWOOD
 - F FIR
 - G GINKGO
 - H HAWTHORNE
 - K KATSURA
 - L LAUREL
 - MA MAGNOLIA
 - O OAK
 - P PINE
 - SP SPRUCE
 - SB SERVICE BERRY
 - SG SWEETGUM

LEGEND

- FIRE HYDRANT
- STREET LIGHT
- ⊗ WATER VALVE
- ☐ MAIL BOX
- ⌋ GUY ANCHOR
- SANITARY SEWER MANHOLE
- ⊕ SIGN
- ⊕ POWER VAULT
- ⊕ HBF= HORIZONTAL BOARD FENCE
- ⊕ ROCKERY
- OHP— OVERHEAD POWER
- SS— SANITARY SEWER MAINLINE
- SD— STORM DRAIN MAINLINE
- SP RECORD DISTANCE PER SHORT PLAT NO. 08-129330

PRELIMINARY ROAD AND UTILITY PLAN

KEEFFE II

BERKSHIRE HOME BUILDERS, LLC

14410 BEL-RED ROAD

BELLEVUE, WA 98007

DATE MAY 2015

DESIGNED SHERI H. MURATA, P.E.

DRAWN RANDY LAMERE

APPROVED SHERI H. MURATA, P.E.

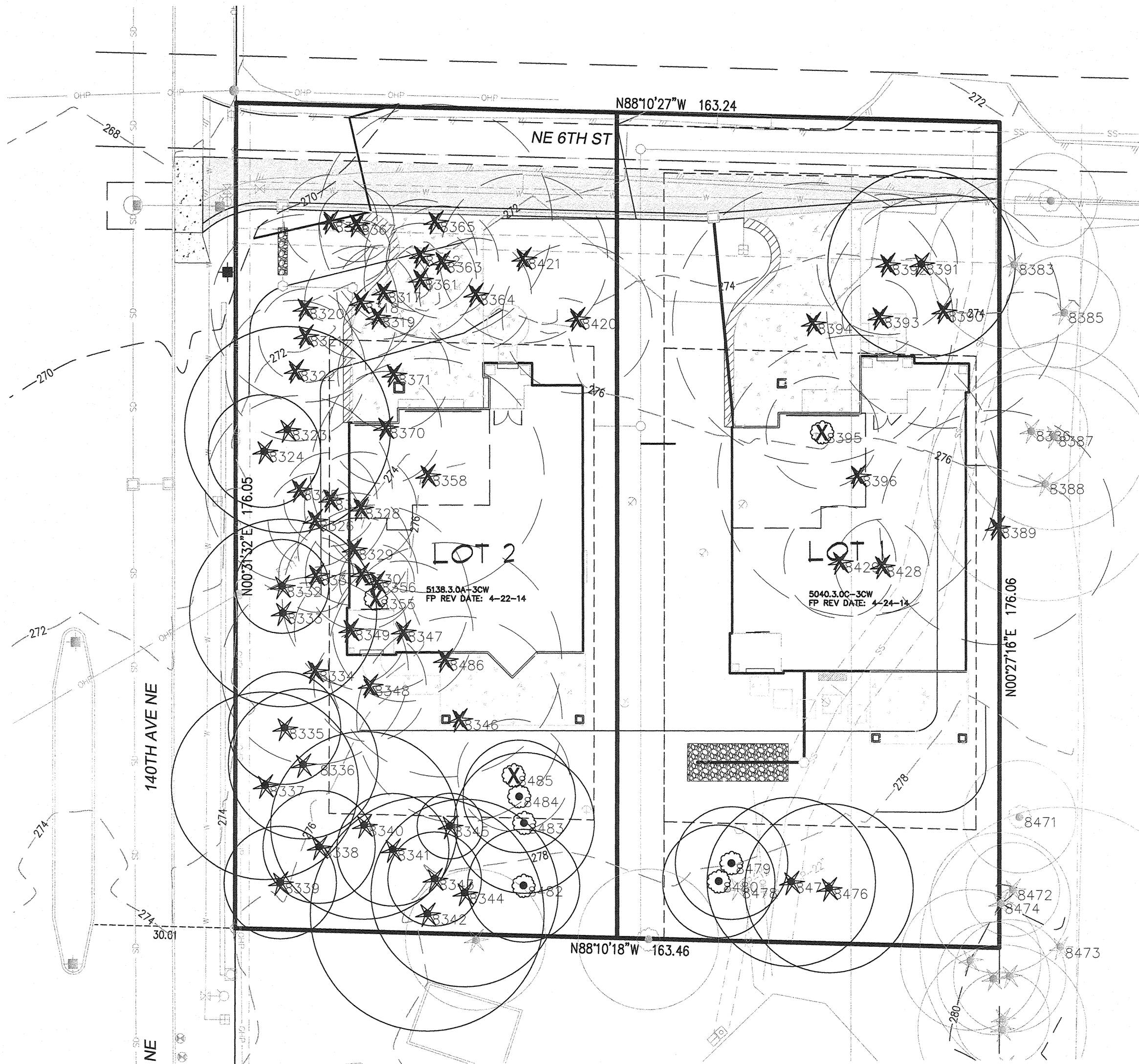
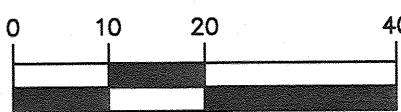
JAMES A. OLSEN, P.E.

PROJECT MANAGER

SHEET 4 OF 5



SCALE: 1" = 20'



TREE RETENTION CALCULATIONS

ON-SITE SIGNIFICANT TREES:	66
ON-SITE SIGNIFICANT TREE DIAMETER INCHES:	1,139
TOTAL ON-SITE SIGNIFICANT TREES TO BE REMOVED:	43
TOTAL ON-SITE SIGNIFICANT TREE DIAMETER INCHES TO BE REMOVED:	751
TOTAL ON-SITE SIGNIFICANT TREES TO REMAIN:	23
TOTAL ON-SITE SIGNIFICANT TREE DIAMETER INCHES TO REMAIN:	388 (34.1%)

NOTES

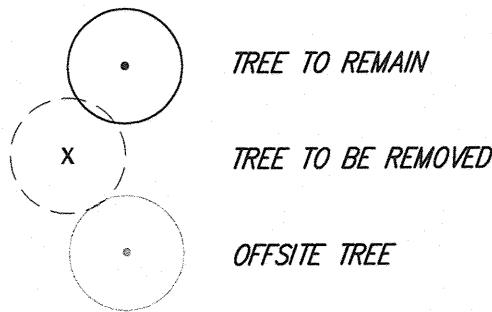
- DESIGNATION OF TREES ON THE TREE PRESERVATION PLAN ESTABLISHES A COVENANT BY THE OWNER TO LEAVE UNDISTURBED ALL TREES AS SHOWN ON THE TREE PRESERVATION PLAN. THIS COVENANT SHALL RUN WITH THE LAND AND SHALL BE BINDING UPON ALL FUTURE OWNERS. NO TREE TOPPING, TREE CUTTING OR TREE REMOVAL SHALL OCCUR UNLESS REQUIRED OR APPROVED BY THE CITY. EXCEPT FOR ORDINARY LANDSCAPE MAINTENANCE, NO CONSTRUCTION, CLEARING OR LAND ALTERATION ACTIVITIES SHALL OCCUR WITHIN THE DRIP-LINE OF TREES SHOWN ON THE TREE PRESERVATION PLAN, UNLESS REQUIRED OR APPROVED BY THE CITY. ACTIVITIES IN VIOLATION OF THIS COVENANT ARE SUBJECT TO PENALTY, INCLUDING WITHOUT LIMITATION, FINES AND MITIGATION REQUIREMENTS. THE CITY OF BELLEVUE SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO ENFORCE THE REQUIREMENTS, TERMS AND CONDITIONS OF THIS COVENANT BY ANY METHOD AVAILABLE UNDER LAW. IT IS THE OBLIGATION OF THE OWNER TO COMPLY WITH THE TERMS OF THE TREE PRESERVATION PLAN AND THIS COVENANT.
- WORK WITHIN DRIPLINE OF SAVED TREES SHALL BE PERFORMED UNDER THE SUPERVISION OF A CERTIFIED ARBORIST.

ON-SITE TREE INVENTORY

No.	DIA	DIA IN.	Species	DL	Health	Structure	Visible Defects/Notes	Retain or Remove?
8317	13	13	Douglas-fir	12	1	1		Remove
8318	17	17	Douglas-fir	14	1	1		Remove
8319	7	7	Douglas-fir	10	1	3	heart rot conks growing on trunk	Remove
8320	25	25	Douglas-fir	18	1	1		Remove
8321	8	8	Douglas-fir	6	1	2	suppressed	Remove
8322	16	16	Douglas-fir	14	1	2	asymmetric canopy	Remove
8323	28	28	Douglas-fir	16	1	2	asymmetric canopy	Retain
8324	14	14	Douglas-fir	16	1	2	asymmetric canopy	Retain
8325	21	21	Douglas-fir	16	1	1		Remove
8326	12	12	Douglas-fir	8	1	1		Remove
8327	9	9	Douglas-fir	8	1	1		Remove
8328	16	16	Douglas-fir	14	1	1		Remove
8329	18	18	Douglas-fir	14	1	1		Remove
8330	14	14	Douglas-fir	12	1	1		Remove
8331	7	7	Douglas-fir	6	1	2	suppressed	Remove
8332	12	12	Douglas-fir	12	1	3	suppressed, dog leg in trunk	Retain
8333	20	20	Douglas-fir	16	1	2	asymmetric canopy	Retain
8334	22	22	Douglas-fir	16	1	1		Remove
8335	19	19	Douglas-fir	14	1	1		Retain
8336	20	20	Douglas-fir	16	1	1		Retain
8337	14,20	20	Douglas-fir	16	1	2	double leader	Retain
8338	10	10	Douglas-fir	12	1	2	asymmetric canopy	Retain
8339	16	16	Douglas-fir	14	1	1		Retain
8340	23	23	Douglas-fir	16	1	1		Retain
8341	16	16	Douglas-fir	18	1	1		Retain
8342	36	36	Douglas-fir	18	1	1		Retain
8343	7	7	Douglas-fir	6	1	2	suppressed	Retain
8344	27	27	Douglas-fir	16	1	1		Retain
8345	9	9	Western hemlock	8	1	1		Retain
8346	25	25	Douglas-fir	16	1	2	asymmetric canopy	Remove
8347	19	19	Douglas-fir	16	1	2	asymmetric canopy	Remove
8348	19	19	Douglas-fir	14	1	1		Remove
8349	14	14	Douglas-fir	8	1	1		Remove
8355	13	13	Bigleaf maple	18	1	1		Remove
8356	5	5	English holly	8	1	1		Remove
8358	24	24	Douglas-fir	16	1	2	asymmetric canopy	Remove
8361	12	12	Douglas-fir	12	1	2	asymmetric canopy	Remove
8362	17	17	Douglas-fir	16	1	1		Remove
8363	12,15	15	Douglas-fir	14	1	2	double leader	Remove
8364	15	15	Douglas-fir	15	1	2	asymmetric canopy	Remove
8365	30	30	Douglas-fir	18	1	2	asymmetric canopy	Remove
8366	9	9	Western red-cedar	8	1	1		Remove
8367	6	6	Western red-cedar	8	1	1		Remove
8370	15	15	Douglas-fir	12	1	1		Remove
8371	14	14	Douglas-fir	10	1	1		Remove
8389	40	40	Douglas-fir	20	1	1		Remove
8390	30	30	Douglas-fir	16	1	1		Remove
8391	27	27	Western red-cedar	16	1	1		Retain
8392	27	27	Western red-cedar	14	1	2	asymmetric canopy	Remove
8393	12	12	Spruce	12	1	2	asymmetric canopy	Remove
8394	32	32	Deodar cedar	20	1	2	asymmetric canopy	Remove
8395	6	6	Magnolia	8	1	2	suppressed	Remove
8396	36	36	Douglas-fir	25	1	1		Remove
8420	32	32	Douglas-fir	18	1	1		Remove
8421	17	17	Douglas-fir	16	1	1		Remove
8428	12	12	Western red-cedar	10	1	2	asymmetric canopy	Remove
8429	12	12	Chamaecyparis	10	1	2	asymmetric canopy	Remove
8476	21	21	Douglas-fir	14	1	2	double leader, topped	Retain
8477	23	23	Douglas-fir	14	1	3	dog leg in trunk, topped multiple leader	Retain
8478	14	0	Douglas-fir	0	3	3	dead	
8479	4,6	6	Portugal laurel	9	1	2	asymmetric canopy	Retain
8480	6	6	Cherry	8	1	2	too slender	Retain
8482	12	12	European birch	14	1	2	asymmetric canopy	Retain
8483	9	9	Cherry	12	1	2	asymmetric canopy	Retain
8484	7	7	European birch	6	1	2	lean; asymmetric	Retain
8485	12	12	European birch	12	1	2	lean	Remove
8486	26	26	Douglas-fir	16	1	2	asymmetric canopy	Remove

Total On-site Significant Tree Diameter Inches:	1139	
Significant Tree Diameter Inches To Be Removed:	751	65.9%
Significant Tree Diameter Inches To Be Retained:	388	34.1%

LEGEND



DATE
MAY 2015
DESIGNED
DRAWN
APPROVED

LINDSEY B. SOLORIO, P.L.A.
LINDSEY B. SOLORIO, P.L.A.
LINDSEY B. SOLORIO, P.L.A.

SHEET
5
OF
5

PROJECT NUMBER
15029

DATE
7/17/15
9/2/15
10/21/15
3/1/16

REVISIONS
1
2
3
4

REVISIONS PER CITY REVIEW
REVISIONS PER CITY REVIEW
REVISIONS PER CITY REVIEW
REVISIONS PER CITY REVIEW

STATE OF WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT
LINDSEY BENNETT SOLORIO
CERTIFICATE NO. 1357
04/17/2016

14711 NE 29th Place Suite 101
Bellevue, Washington 98007
425.885.7877 Fax 425.885.7963

CORE DESIGN
ENGINEERING · PLANNING · SURVEYING

PRELIMINARY TREE RETENTION PLAN
KEEFFE II
BERKSHIRE HOME BUILDERS, LLC
14410 BEL-RED ROAD
BELLEVUE, WA 98007

JAMES A. OLSEN, P.E.
PROJECT MANAGER

TECHNICAL MEMORANDUM

May 6, 2015

To:	Mr. Todd Levitt, Pacific Properties, Inc. Mr. Napoleon Esperanza, Pacific Properties, Inc.
From:	Richard W. Lundquist, M.S., Wildlife Biologist Raedeke Associates, Inc. Christopher W. Wright, B.S., Soil & Wetland Scientist Raedeke Associates, Inc.
RE:	Keeffe Property – Wildlife Habitat Assessment (RAI No. 2015-018-002)

At your request, Raedeke Associates, Inc. staff visited the Keeffe Property in Bellevue, Washington on March 5 and April 17, 2015. The purpose of our March 5, 2015 site visit was to identify and delineate any wetlands or streams on the property and to search for the presence or habitat of Federal- or State-listed endangered, threatened, sensitive, candidate, other priority, or monitored wildlife species (hereafter “species of concern”), Washington Department of Fish and Wildlife (WDFW)-designated priority habitats (hereafter “priority habitats”), or habitat associated with City of Bellevue-listed Species of Local Importance. Our April 17, 2015 site visit was primarily focused on data collection for a City of Bellevue Urban Wildlife Habitat Functional Assessment, following appropriate guidance (The Watershed Company 2009, revised 2010).

SITE LOCATION

The Keeffe Bellevue project site consists of an approximately 0.69 acre parcel, located at 444 140th Avenue NE. in the City of Bellevue, Washington. The property is identified by Tax Parcel No. 8839900129. This places the parcel in a portion of the NE ¼ of Section 34, Township 25 North, Range 5 East, W.M. Parcel maps retrieved on-line from King County depict the property boundaries.

METHODS

In order to identify potential wetland areas, we used the U. S. Army Corps of Engineers (COE) Wetlands Delineation Manual (Environmental Laboratory 1987). The COE, which requires use of the 1987 delineation manual, as amended, has federal regulatory jurisdiction of the dredging or filling of "Waters of the United States," including

wetlands. As outlined in this methodology, the interaction of hydrophytic vegetation, hydric soil, and wetland hydrology must be present for an area to be classified as wetland. To be consistent with current regulations, field investigations were consistent with the Regional Supplement to the Corps of Engineers Delineation Manual: Western Mountains, Valleys, and Coast Region (COE 2010).

Prior to conducting our site visit, we accessed the online priority habitats and species (PHS) database maintained by WDFW (2015) to search for the occurrence or habitat of species of concern, or priority habitats that may be found on the site or in the vicinity. Our April 17, 2015 wildlife reconnaissance focused on searching for the presence of large stick-type nests, snags, hollow trees, large trees, tree cavities, mature forest, and pileated woodpecker foraging sign. Large stick nests are built and used by several species of concern, including bald eagles and great blue herons. Tree cavities are created and used by woodpeckers, including species of concern such as the pileated woodpecker, and are used secondarily by a host of bird and mammal species, including species of concern such as purple martins, various cavity-nesting duck species, and various bats. Hollow trees are used as daytime roosts for priority species including various bat species, as well as Vaux's swifts.

Our site visit also focused on collection of data and other information for a City of Bellevue Urban Wildlife Habitat Functional Assessment, though we also noted the presence or sign of wildlife species and habitat features while on-site. Our study was designed to meet criteria outlined by The Watershed Company (2009, revised 2010). We collected data at regularly spaced sample plots to sample representative parts of the property. Within each sample plot, we recorded the cover by conifers, the percent cover by each vegetative strata, percent cover by invasive plants, the number of snags ≥ 4 inches dbh, and the number of logs ≥ 6 inches at the largest end. In addition, we recorded the diameter of the largest tree observed on-site, and the number of plant species that covered at least 10 square feet. Also, we conducted an off-site analysis of habitat connectivity to surrounding forested areas. The Functional Assessment worksheet, data, analyses, and an associated figure are provided in Appendix A.

RESULTS

The Keeffe property is a single-family residential site with a house, garage, and shed and associated driveway access. The property is one of a cluster of single-family parcels averaging over one half acre in size, the largest of which is 3.8 acres, surrounded by higher density urban residential subdivisions, along with a middle school, churches, and other retail or commercial uses. Like the Keeffe property, this cluster of larger residential lots includes a greater number of native trees than the surrounding higher density urban development uses.

We did not identify any wetlands or streams on the Keeffe property. A house and garage occupy the north-central part of the property, accessed by a u-shaped driveway from the north. A small shed is located southwest of the house in the southwestern part of the site

(Figure 2). Portions of the area adjoining the northern and eastern sides of the house and garage are maintained as a landscaped lawn with ornamental shrub and tree plantings. The remaining portions of the property, including the entirety of the western and central parcels, are covered by a second-growth stand of trees, primarily Douglas-fir (*Pseudotsuga menziesii*), with scattered others, including western hemlock (*Tsuga heterophylla*), birches (*Betula* sp.), bigleaf maple (*Acer macrophyllum*), cherry trees (*Prunus* sp.), and other ornamentals. Conifers averaged 85-90% of the canopy. The understory varied from nearly bare ground to dense thickets of English ivy (*Hedera helix*) and English laurel (*Prunus laurocerasus*) (Figure 2). Other shrubs and low cover plants in the understory included English holly (*Ilex aquifolia*), cascara (*Fraxinus purshiana*), Indian plum (*Oemleria cerasiformis*), beaked hazelnut (*Corylus cornuta*), trailing blackberry (*Rubus ursinus*), salal (*Gaultheria shallon*), holly-leaved barberry (*Mahonia aquifolium*), bracken-fern (*Pteridium aquilinum*), western swordfern (*Polystichum munitum*), common ladyfern (*Athyrium filix-femina*), and scattered others.

The plant community observed on the site is not indicative of wetland conditions. Soils observed on the site are loams to sandy loams generally consistent with the Alderwood Series soils mapped for the site and vicinity by the U.S.D.A. Natural Resources Conservation Service (NRCS 2015) that do not exhibit redoximorphic features characteristically found in wetland soils. We did not see any evidence of surface or near-surface water during our March 5 or April 17, 2015 site visits.

The WDFW (2015) PHS database shows no mapped occurrences of listed or other priority species or habitats for the site or immediate vicinity. Kelsey Creek is located well east of the site, east of 148th Ave NE, extends up to Bel-Red Road, and then extends through the western part of the Glendale Country Club property well west of the site. Several wetlands are mapped along the course of Kelsey Creek. All of these features are located at least 2,000 feet from the Keeffe property. The WDFW (2015) PHS map also depicts a small wetland approximately 900 feet southeast of the Keeffe property within the Odle Middle School property. Based on the Google Earth (2015) aerial photos, this mapped wetland does not exist in this location (the site of tennis courts associated with the school) and appears to be mis-located. The aerial photos show an artificial pond on the property with a house and maintained lawn located at 14045 NE 6th Street, approximately 400 feet east the Keeffe property. This pond is not shown on the King County (2015) iMap, WDFW (2015) PHS database, or the U.S. Fish and Wildlife Service (2015) National Wetland Inventory maps for the area.

During the course of our site visits, we documented the presence of 8 bird species, though a greater number of animal species are likely to inhabit or otherwise use the site during different times of the year. Most of the species we observed were fairly common year-round resident or neotropical migrant species. We did not observe any listed or other priority species. We did see possible evidence of past foraging by a pileated woodpecker on the property, which is a State candidate species (WDFW 2008), but no evidence of current use.

Snags provide important foraging habitat, as well as breeding and cover sites for a variety of vertebrate wildlife species, as well as invertebrates. We found a single snag on the Keffe Bellevue property, which was a Douglas fir, approximately 12 inches diameter at breast height (dbh) and broken topped, approximately 20 feet tall. This snag is too small to be considered a priority snag as defined by WDFW (2008). We saw several old foraging holes of various sizes on the upper part of the snag, as well as a larger cavity that appeared to be the appropriate size for a northern flicker roost or nest. Larger holes that appeared to be those made by foraging pileated woodpecker were located at the decaying top of the snag. All of these appeared to be old, with no sign of recent activity. A black-capped chickadee was excavating a cavity in the snag during our April 17, 2015 field investigation.

Large (>12 inches diameter at the large end) down logs provide cover, as well as foraging, breeding, and cover sites for a variety of invertebrates, small mammals, and amphibians. Smaller downed limbs were scattered in the western part of the property, or cut and stacked against the block wall along the western property boundary. No large logs were found on the site, and the largest (generally less than 6 inches diameter) were stacked apparently as firewood. We found a few low-cut stumps in the southwest corner of the property. None of the logs were large enough to be considered priority logs, as defined by WDFW (2008). The stand of trees on the property does not meet the WDFW (2008) definition of mature forest.

We did not observe any evidence of nesting within the site or vicinity by hawks, eagles, or great blue herons during our field investigation. Site conditions were generally not conducive for large raptor nesting, as the majority of the trees onsite were not large enough and/or did not have branching patterns conducive to supporting large stick nests. The neighbor to the east reported the presence of a barred owl nest in the southeastern corner of his property, but that one of the birds of the pair had recently died.

The Keffe Property scored a total of 35 points on the Bellevue Urban Wildlife Habitat Functional Assessment (Appendix A).

REGULATORY CONSIDERATIONS

The City of Bellevue (2015) regulates wildlife through protection of habitat associated with "Species of Local Importance." We detected the presence of none the species listed as Species of Local Importance during our field investigations, only sign of past foraging activity by one of these species, the pileated woodpecker. We did not observe the presence or sign of any additional City of Bellevue-listed Species of Local Importance on the site during any of our field visits.

Pileated woodpeckers are relatively large birds with large home ranges (typically 1 to 2 or more square miles) that are found throughout low- to mid-elevation forested areas of Washington State (Lewis and Azerrad 2004). Because of their large territory size and willingness to fly over large areas of non-habitat to reach foraging areas, pileated

woodpecker foraging sign is commonly found on snags within the Puget Sound region, in some cases regardless of the size of a given forested area or perceived degree of isolation and habitat quality. Pileated woodpeckers do not appear to currently use the Keeffe Bellevue property for foraging, and the single snag on site is not large enough to be used for roosting or nesting. Due to the size of the site and the typically large territory size occupied by this species, the Keeffe Bellevue site does not contain suitable habitat for this species under current conditions, given the relative lack of snags (only one) and lack of priority logs.

When habitat associated with a Species of Local Importance is located on a property, the City of Bellevue (2015) requires that WDFW management recommendations be implemented on the site for any such species present. WDFW management recommendations for pileated woodpeckers (Lewis and Azerrad 2004) focus on preservation of contiguous patches of forest habitat, as well as provision and maintenance of snags and decaying live trees of varying sizes for nesting, roosting, and foraging, where feasible. Given the lack of habitat for this species on the Keeffe property, the requirement to follow the WDFW management recommendations for pileated woodpeckers (Lewis and Azerrad 2004) does not appear to apply.

PROPOSED DEVELOPMENT

The proposed development involves subdividing the property into two lots and replacing the current house and associated buildings with two single-family houses, one on each lot. On the Keeffe Bellevue site, the majority of the property would be cleared under the proposed development, including the existing structures. Of the 66 significant trees on site, 46 would be removed, and 20 would be retained (Figure 3). Most of the retained trees are Douglas firs, including the largest tree on site (37 inches dbh) near the south property boundary. It appears that the lone snag, which is located among a small cluster of conifers in the southeastern part of the site near the south boundary, would be retained. Thus, we anticipate no impacts to potential habitat for priority species or habitats, or to Species of Local Concern, as defined by the City of Bellevue (2015), including pileated woodpeckers.

LIMITATIONS

We have prepared this report for the exclusive use of Pacific Properties, Inc. and their consultants. No other person or agency may rely upon the information, analysis, or conclusions contained herein without permission from Pacific Properties, Inc.

The determination of ecological system classifications, functions, values, and boundaries is an inexact science, and different individuals and agencies may reach different conclusions. With regard to wetlands, the final determination of their boundaries for regulatory purposes is the responsibility of the various agencies that regulate development activities in wetlands. We cannot guarantee the outcome of such

Mr. Todd Levitt

May 6, 2015

Page 6

determinations. Therefore, the conclusions of this report should be reviewed by the appropriate regulatory agencies.

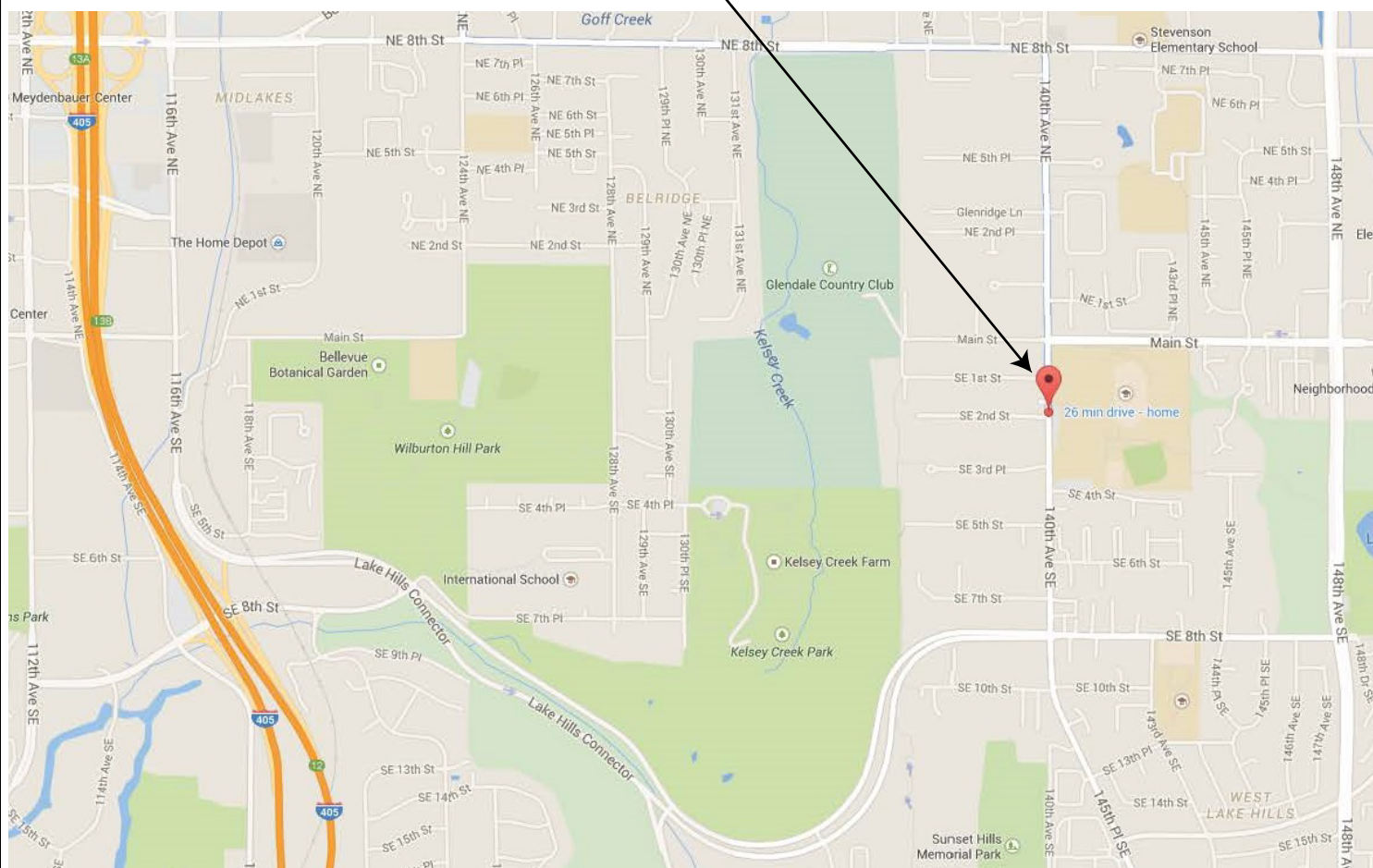
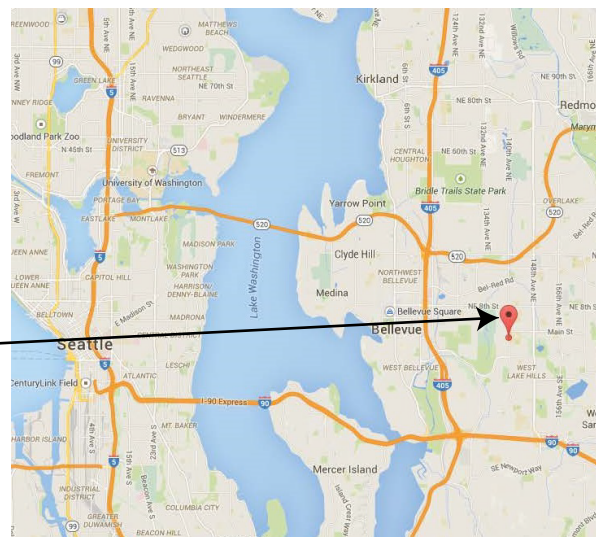
We warrant that the work performed conforms to standards generally accepted in our field, and prepared substantially in accordance with then-current technical guidelines and criteria. The conclusions of this report represent the results of our analysis of the information provided by the project proponent and their consultants, together with information gathered in the course of the study. No other warranty, expressed or implied, is made.

Thank you for the opportunity to prepare this material for you. Please let us know if you have any questions or need additional information.

LITERATURE CITED

- Bellevue, City of. 2015. Title 20 Land Use Code, part 20.25H Critical Areas Overlay District. Current through Ordinance 6223, passed April 6, 2015.
- Environmental Laboratory. 1987. Corps of Engineers Wetlands Delineation Manual. Technical Report Y-87-1, US Army Engineers Waterways Experiment Station, Vicksburg, Mississippi. 100 pp.
- Google Earth. 2015. Image for 47.615060° -122.153111° in Snohomish County, WA. © 2015 Google. Accessed April 22, 2015.
- King County. 2014. iMAP GIS Interactive map center, King County, Washington. <http://www.kingcounty.gov/operations/GIS/Maps/iMAP.aspx>. Accessed April, 2015.
- Lewis, J.C., and J.M. Azerrad. 2004. Pileated woodpecker (*Dryocopus pileatus*). Pages 29-1 to 29-9 in E.M. Larsen, J.M. Azerrad, and N. Nordstrom, editors. Management Recommendations for Washington's Priority Species, Volume IV: Birds. Available at http://wdfw.wa.gov/hab/phs/vol4/band_pigeon.pdf.
- The Watershed Company. 2009 (revised 2010). Using the Bellevue Urban Wildlife Habitat Functional Assessment Model.
- U.S. Army Corps of Engineers. 2010. Regional supplement to the Corps of Engineers wetland delineation manual: western mountains, valleys, and coast region (Version 2.0). Wakeley, J.S., R.W. Lichvar, and C.V. Noble, eds. May 2010.
- U.S.D.A. Natural Resources Conservation Service. 2015. On-line Web Soil Survey. <http://websoilsurvey.nrcs.usda.gov>. Accessed April, 2015.
- U.S. Fish and Wildlife Service. 2015. National Wetland Inventory, Wetlands Online Mapper. <http://wetlandsfws.er.usgs.gov/wtlnds/launch.html>. Accessed April, 2015.
- Washington Department of Fish and Wildlife. 2008. Priority habitats and species list. Olympia, Washington.
- Washington Department of Fish and Wildlife. 2015. PHS on the web. Available at: <http://wdfw.wa.gov/mapping/phs/>. Last accessed April 2015.

PROJECT LOCATION 444 140th Ave SE Bellevue, WA



Source: Google Maps. Available at <https://www.google.com/maps>. Accessed 4/ 24/ 15.



FIGURE 1
REGIONAL & VICINITY MAP
KEEFE HABITAT ASSESSMENT
BELLEVUE, WA

Raedeke
Associates, Inc.

9510 Stone Avenue North
Seattle, WA 98103

RAI # 2015-018


FIGURE 3
MURRAY FRANKLYN
KEEFFE PROPERTY
HABITAT ASSESSMENT
PROPOSED SITE PLAN


LEGEND

--- PROJECT BOUNDARY

--- PROPOSED CONTOURS

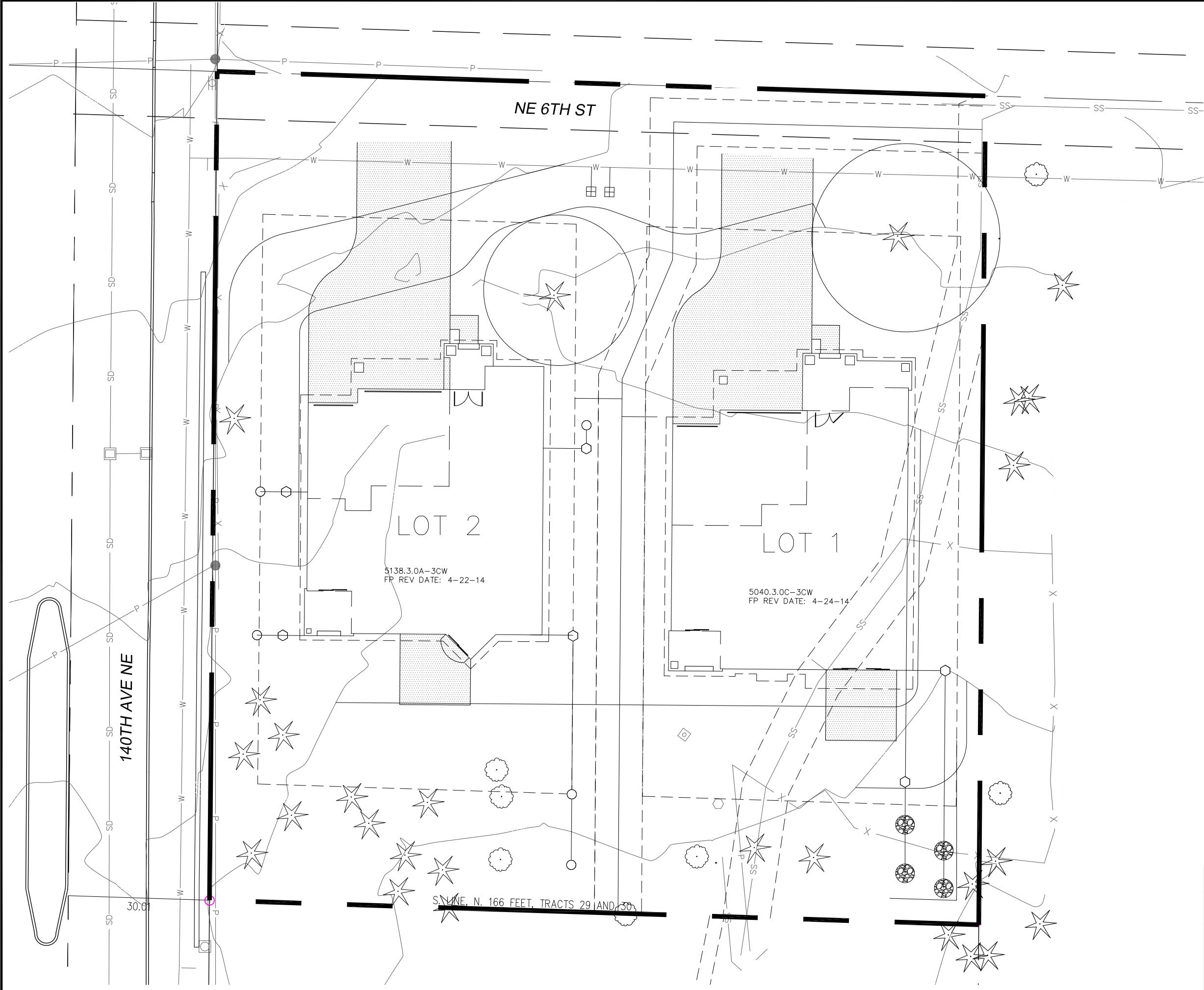
★ ○ ○ TREES TO REMAIN


NORTH


SCALE: 1" = 20'


Raedeke
Associates, Inc.
9510 Stone Avenue North
Seattle, WA 98103

RAI PROJECT: 2015-018-002	
DATE: APRIL 29, 2015	
DRAWN BY:AC	PM:RL
BASE INFORMATION: SURVEY & SITE PLAN Core Design Inc.14711 NE 29th Place, Suite 101 Bellevue, WA 98007 Tel 425.885.7877 Fax 425.885.7963	



APPENDIX A

City of Bellevue Urban Wildlife Habitat Functional Assessment

City of Bellevue
FUNCTIONAL ASSESSMENT TOOL
for Upland Habitat

Property address 444 140th Ave NE, Bellevue, WA Project name Keefe Bellevue (2015-018-002)
 Location Range 5E Township 25N Section 34 Project contact R. Lundquist, C. Wright
 Parcel number 8839900129 Telephone number (206) 525-8122
 Property owner JH Keefe Address 9510 Stone Ave N, Seattle, WA 98103
 Telephone number () - -

Staff C. Wright, R. Lundquist Date(s) of site visit(s) 3/5/15, 4/17/15

Washington Department of Fish and Wildlife Priority Habitat and Species (PHS) data obtained? Y/N Y

1.0	PROPERTY DESIGNATION	Zone A	Zone B	Zone C	Zone D	Zone
1.1	Existing impervious surface	>90%	50-90%	20-50%	0-20%	C
2.0	LANDSCAPE PARAMETERS	No points	1 point	2 points	3 points	Total
2.1	Land use/development density	Zone A	Zone B	Zone C	Zone D	2
2.2	*Occurrence (number) of habitat types	0	1	2	3+	3
2.3	**Proximity of known critical areas (distance to edge)	>2,500 ft	<2,500 ft	<1,200 ft	<100 ft	2
2.4	Habitat connectivity and corridors	No connection to other habitat areas	≥25-foot-wide connection to vegetated areas of at least 1 acre	≥50-foot-wide connection to vegetated areas of at least 50 acres but not listed parks***	≥50-foot-wide connection King County wildlife network or listed parks***	0

City of Bellevue
FUNCTIONAL ASSESSMENT TOOL
for upland habitat

2.5	Patch size	<0.-1.0 ac	1.0-5.0 ac	>5-10 ac	10-42 acres	>42 acres = 4 points	1
2.0	LANDSCAPE PARAMETERS	No points	1 point	2 points	3 points	Additional points	Total
2.6	*Interspersion of habitat patches (excluding patches <1 ac in area)	No or isolated patch (no others within 0.5-ac circle)	Low	Moderate	High	+1 point if wildlife network or listed park is included	1
3.0	LOCAL PARAMETERS	No points	1 point	2 points	3 points	Additional points	Total
3.1	Size of native trees on site	No significant trees on site	6-12" dbh tree(s) present	12-20" dbh tree(s) present	>20" dbh tree(s) present	+1 point if tree(s) >30" dbh are present	4
3.2	Coniferous component	No conifers on site	Conifers very sparse or present in understory only	Conifers co- or sub-dominant in overstory	Conifers dominant	+1 point if conifers >30" dbh are present	4
3.3	Percent cover (sample vegetated areas only)						
	Ground layer (0-2.3 ft) (5-ft radius)	0%	0-25%	25-50%	50%+ $\bar{x} = 57\%$	+1 point for cover >75%; -1 point if mowed grass is >50%	3
	Shrub layer (2.3-25 ft) (10-ft radius)	0%	0-25%	25-50% $\bar{x} = 44\%$	50%+	+1 point for cover >75%	2
	Canopy (>25 ft) (30-ft radius)	0%	0-25%	25-50%	50%+ $\bar{x} = 51\%$	+1 point for cover >75%	3
3.4	Vegetative vertical structural diversity (foliage height diversity)	FHD = 0	FHD < 0.70	FHD = 0.70-0.90 $\bar{x} = 0.87$	FHD > 0.90		2

City of Bellevue
FUNCTIONAL ASSESSMENT TOOL
for Upland Habitat

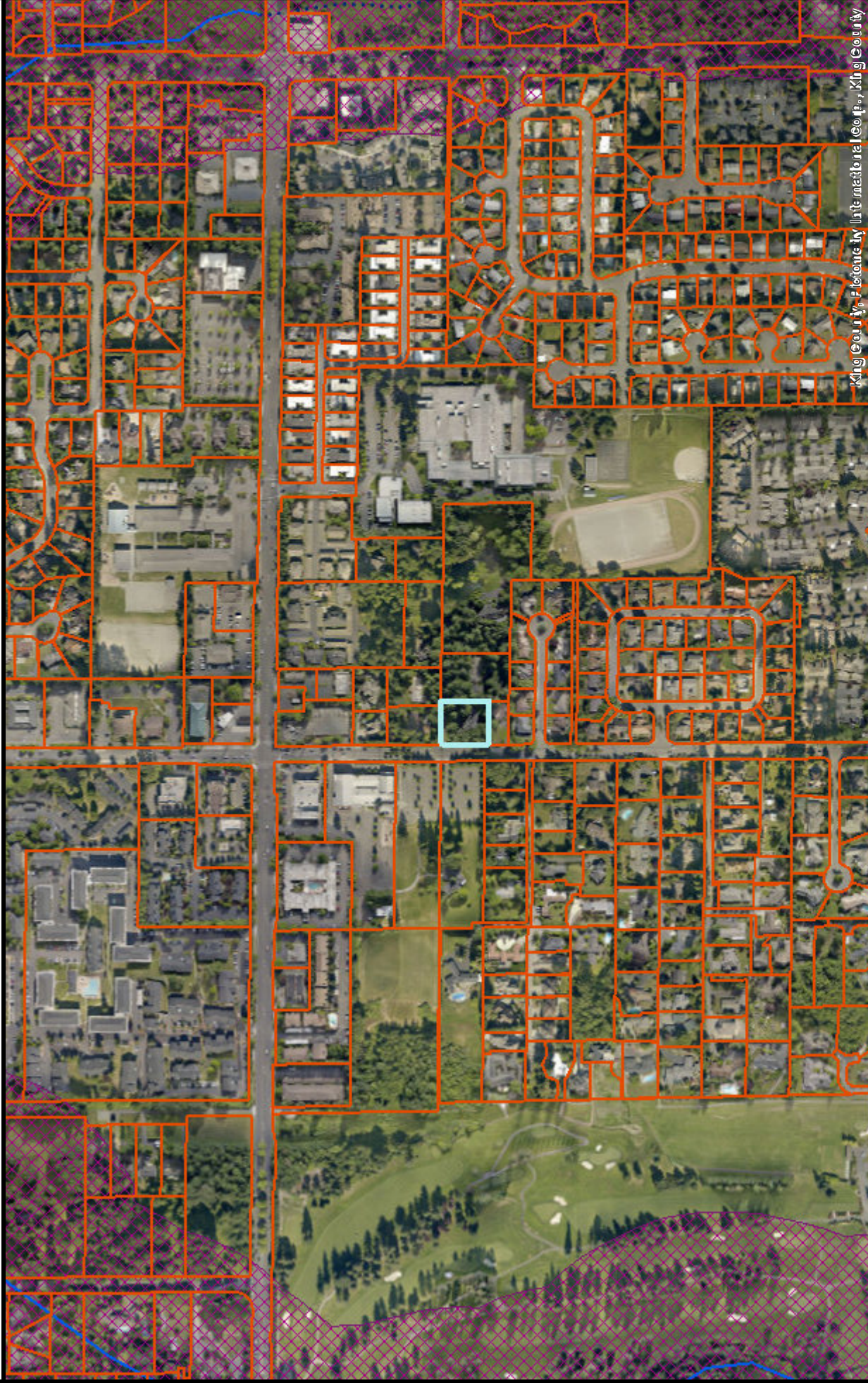
3.5	Vegetative species richness	0-1 species	2-5 species	6-19 species	20+ species		2
3.6	Invasive species component	>75% cover	25-75% cover	10-25% cover	<10% cover		1
3.0	LOCAL PARAMETERS	No points	1 point	2 points	3 points	Additional points	Total
3.7	Proximity to year-round water	>1.0 mi or artificial feature with maintained /invasive buffer present within 0.3-1 mi	0.3-1.0 mi or artificial feature with maintained/invasive buffer present within <0.3 mi	<0.3 mi or artificial feature with maintained/invasive buffer present within patch	Natural water feature present within patch with native buffer		2
3.8	Snags (≥4 in dbh)	No snags on site	1/ac or fewer	2-6/ac	>7/ac	Add 0.5 point for each >20 in dbh and 1 point for each >30 in dbh	1
3.9	Other habitat features	None	1	2-4	5 or more		2
Landscape parameters points							
Local parameters points							
TOTAL POINTS							
26							
35							

* Use circle of the appropriate size for the property's zone:

- Zone A – 0.5 ac
- Zone B – 5.0 ac
- Zone C – 100 ac
- Zone D – 250 ac

** PHS data required for sites in Zone D

King County iMap - Keeffe Property



The information included on this map has been compiled by King County staff from a variety of sources and is subject to change without notice. King County makes no representations or warranties, express or implied, as to accuracy, completeness, timeliness, or rights to the use of such information. This document is not intended for use as a survey product. King County shall not be liable for any general, special, indirect, incidental, or consequential damages including, but not limited to, lost revenues or lost profits resulting from the use or misuse of the information contained on this map. Any sale of this map or information on this map is prohibited except by written permission of King County.

Date: 4/24/2015

King County



1 in : 752 feet
0 0.075 0.15 Miles

Keeffe Property Habitat Assessment
Raedeke Associates, Inc.
RAI No. 2015-018-002

	30' rad.	5' rad.	10' rad.	30' rad.		30' rad.	30' rad.	30' rad.
Plot #	% Conifer in Canopy	% Cover 0-2.3 ft.	% Cover 2.3-25 ft.	% Cover >25 ft.	Veg. Structural Diversity	% Invasive Cover	# Snags >4" dbh	# Downed Wood >6"
1	100%	15	40	80	0.91	5	0	0
2	100%	5	100	5	0.37	100	0	0
3	100%	65	25	70	1.02	50	0	0
4	84%	40	25	90	0.96	55	0	0
5	90%	90	65	80	1.09	87	0	0
6	100%	30	20	75	0.94	15	0	0
7	100%	75	90	10	0.87	100	1	0
8	57%	65	55	30	1.05	80	0	0
9	33%	95	15	10	0.65	25	0	0
10	100%	90	5	60	0.79	90	0	0
Avg.	86%	57	44	51	0.87	61	0.1	0.0
# Per Acre							1.1	0.0

**Native Plant Species
>10 s.f.**

PSME Betula
THPL Prunus
TRLA RONU
MAAQ POMU
PTAQ ATFF
GASH
RHPU
RUUR
COCO
ACMA
TSHE
OECE

Non-Native Plant Species >10 s.f.

ILAQ TAOF
HEHE ornamentals
Eng. Laurel
RARE

Largest Tree Seen Onsite:

37" dbh PSME

Total = _17 native species

TECHNICAL MEMORANDUM

March 2, 2016

To:	Mr. Napoleon Esperanza, Murray Franklyn
From:	Richard W. Lundquist, M.S., Wildlife Biologist Raedeke Associates, Inc.
RE:	Keeffe Bellevue – Wildlife Habitat Assessment Response to Zeinemann Comments (R.A.I. No. 2015-018-002)

The purpose of this memo is to provide comments on the May 6, 2015 Wildlife Habitat Assessment Raedeke Associates, Inc. 2015) from a neighboring property owner, Mr. Robert Zeinemann, dated February 10, 2016. These comments were transmitted to us via email on February 24, 2016 by Ms. Jami Balint, of Murray Franklyn. In preparing this information, I have reviewed the comment letter as well as associated documents and photos provided by Mr. Zeinemann, as provided to me by Ms. Balint.

Landscape Context

The comment letter asserts that the Keeffe property is on the edge of a 12-acre area that provides high-value wildlife habitat, particularly with large mature trees of several native species with a “continuous, unbroken 12-acre area (Zone C size) of tree canopy...,” as sketched on a Google Map aerial photograph. While we recognize that, with the larger lots and greater cover of native trees than the surrounding higher-density residential developments, this area provides higher quality habitat than the surroundings, this characterization is misleading, with relevant implications as to how the site is scored on the Bellevue Urban Wildlife Habitat Functional Assessment (hereafter WHFA; The Watershed Company 2009, revised 2010). First, based on information from King County (2016) iMap, the assemblage of properties on the map, including some forested fringe at the southeast corner appear to total closer to 11 acres, rather than 12 acres.

Even so, the forested habitat is not continuous and unbroken. The forest canopy is interrupted by existing houses, lawns and other ornamental landscaping, driveways, and the access drive. In assigning habitat types as part of the WHFA, and particularly when evaluating connections between habitats, such features are separated out for analysis purposes. Our right-of-entry for this project did not extend beyond the Keeffe Property. Consequently, we could not map the habitats on the adjoining properties in great detail.

Nevertheless, using several of the aerial photographs available on the King County (2016) iMap, as well as Google Earth (2016), the approximate area occupied by visible features houses, lawns, and the access drive on these properties totals nearly 3 acres. This reduces the actual forest habitat total on these properties to between 8 and 9 acres.

It should be noted as well that the Zone A, B, C designation in the WHFA (Section 1 of the Functional Assessment Tool form) is used primarily to determine the size of the area to evaluate for landscape-level parameters, based on the amount of impervious surface of the property zoning. Based on review of the zoning and surrounding properties in the general area, including the large lots to the east, higher-density residences, apartments, parks, schools, and others, we estimated impervious surfaces to total 20% to 50% (Zone C). From this, the WHFA indicates a 100-acre area (1,178-foot-radius circle) in which to evaluate the landscape parameters (Section 2) on the form (see attached graphic). Thus, the landuse/development density (Question 2.1) is Zone C.

Connection to Other Habitat Areas

Regarding Question 2.4 on the form, the comment letter asserts that there is at least a 25-foot-wide connection to habitat areas of at least 1 acre. While there may be forest canopy of that width that extends from the Keeffe property to the adjoining properties, the habitat connection is not unbroken. As noted above, the WHFA guidance indicates that breaks in continuity include such features as paved or gravel roads used daily, maintained lawns associated with structures (such as houses), and solid fences or walls. Further, connections “must be vegetated with trees, shrubs (native or non-native), or wetlands. Other cover (lawns, ornamental vegetation) may make up no more than 50% of the width of the connecting area at any point.” Based on our observations on site and review of available information, the Keeffe property is bordered on the west by a block wall and 140th Avenue NE beyond and on the north by the paved access drive NE 6th Street. On the south, the site is bordered by an existing house and paved drive, with a partially fenced yard. Forest cover extends from the Keeffe property to the southeast, but not without breaks and/or fences. To the east, much of the yard (maintained as lawn) is bordered by a chicken-wire fence several feet tall, and the conifer trees in the northeast of the property are underlain by English ivy (*Hedera helix*), a highly invasive, non-native species. Farther east are neighboring houses along the paved drive, with maintained lawns and paved (or gravel) driveways. With all of these features present adjoining the property, we rated this question as no (unbroken) connections at least 25 feet wide to other habitats of at least one acre.

Patch Size

Patch size within the analysis area (Question 2.5 on the form) is determined by defining habitat patches within the analysis circle for the zone (Zone C), in this case a 100-acre circle (1,178-foot radius). As noted in the WHFA, for purposes of this question, a habitat patch is the total area of all contiguous cover types defined as habitat (excluding lawns and other highly manipulated and maintained areas) within the analysis circle. For this project, the largest habitat patches occur on the adjoining properties to the east, as indicated in the

comment letter. Subtracting out the houses, lawns, driveways, and the access drive, this area is no larger than 8-9 acres. With breaks in habitat continuity, as discussed above, our assessment was the contiguous habitats were no larger than 5 acres. Even if the habitats on these properties were considered contiguous (not accounting for the breaks discussed above), the patch would be no larger than 9 acres (excluding the buildings, lawns, and impervious surfaces), which at most would score one additional point for this question.

Interspersion

Interspersion (Question 2.6 on the form) of habitats is again analyzed within the circle area appropriate to the zone designation for the site (Zone C, 100-acre circle), using the guide sheet in Appendix A of the WHFA guide document. Small vegetated areas are excluded, although the guide document differs from the assessment form in minimum size to use (form indicates to exclude areas less than 1 acre, and the guide document indicates including habitat patches at least 0.5 acres in size). Again, the primary habitat patch within the analysis circle is the forested area located on the adjoining properties to the east. Other forest habitat patches within the circle are too generally small to include. The only other large vegetated area is an area of lawns west of the neighborhood church west of 140th Avenue NE, but under Section 3.1.2 of the WHFA guide, lawns are not considered habitat. With one major habitat patch in the analysis circle (including forest and wetland areas together, albeit with “holes” to exclude buildings and lawns, etc.), we scored the interspersion as low.

Proximity and Connection to Critical Areas

We acknowledge that the wetland pond on the Wilson property, as well as the associated stream and adjoining riparian forest, can provide valuable habitat for wildlife. Based on our review of reference maps and aerial photo interpretation, the wetland area noted in the comment letter, which appears to exist largely as a pond, is located approximately 400 feet east of the Keeffe property, hence our scoring as ‘<1,200 feet.’ Based our review of aerial photos, we do not consider habitat on the Keeffe property contiguous with this wetland. The wetland area is bordered by lawn, which is itself bordered by paved driveway and the house on the Wilson property. In addition, the Johnson property between Keeffe and Wilson also contains features that interrupt the continuity of habitat (house, lawn, driveway, paved access road).

Although it is not known exactly where the stream that discharges from the wetland pond extends across the condominium property, the stream is likely at least 200 feet from the Keeffe property. Nevertheless, habitat continuity to that property is interrupted by NE 6th Street (and an associated break in tree canopy), solid brick walls, and driveways. Thus, the stream is also not considered contiguous with habitat on the Keeffe property.

Summary Scoring

As noted in our May 2015 report, based on our analysis, the Keeffe property scored a total of 35 points on the Bellevue Urban Wildlife Habitat Functional Assessment. As discussed

above, our analysis was based on our best professional judgement from our field assessment at the Keffe property and review of available reference maps and aerial photos. Our on-site field investigation was limited to the Keffe property and NE 6th Street. Thus, we were not able to map off-site habitats on the adjoining properties to the east in more detail. Even if there were to be an unbroken connection to forested habitat on these properties, habitat patch size were considered 5-10 acres on these properties (excluding houses, lawns, driveways, etc.), and interspersions were considered moderate (accounting for edges formed by these excluded areas), it could be argued that the property would score, at most, an additional 3 points on the WHFA form. This still leaves the property with a relatively high score, in the range of 26-40 points, as documented in our analysis. This is indicative of actual and potential habitat in the area.

Wildlife Species Use

We acknowledge that a variety of wildlife species utilize the habitat area on which the Keffe property borders, likely a greater diversity than in the higher density developments that surround this area. However, as noted above, the “natural area” likely totals 8 to 9 acres, rather than 12. Our report indicates evidence of past use of the Keffe property by pileated woodpeckers as foraging habitat, but with only one relatively small snag, no actual habitat for nesting or roosting. We acknowledge that this species can readily use other forested habitats on the properties described by the comment letter. However, pileated woodpeckers occupy a very large home range (exceeding one square mile; Lewis and Azerrad 2004), particularly in areas where forested habitat occurs as small, isolated patches, so support of a breeding pair would require much more habitat area than is provided in the neighboring properties.

We acknowledge that the other species of local concern listed in the comment letter, including bald eagle, red-tailed hawk, great blue heron, green heron, Vaux’s swift, merlin, purple martin, and common loon, could be observed using the Wilson property and vicinity at various times of the year. However, no known nest or roost sites of eagles, merlins, great blue or green herons, Vaux’s swifts, or purple martin are known to occur on the Keffe property or vicinity (WDFW 2016), nor did we observe any evidence of nesting or particular habitat features for these species on the Keffe property. Some species, such as the herons, loons, swifts, and martin, may be attracted to the pond on the Wilson property as potential foraging habitat.

As noted in the comment letter, observations of Cooper’s hawks among the properties are indicative of the habitat patch as songbird habitat. Our report notes the report of barred owls using one of the neighbors properties as well. However, neither of these species is listed as a species of local concern (City of Bellevue 2015) or state priority species (WDFW 2008), and we found no evidence of regular use, such as nest structures, of the Keffe property by these species. In addition, barred owls have expanded from the eastern U.S. into western Washington within the last 40 years or so, and are known to out-compete

spotted owls, a federal threatened species, for nesting territories in the Cascade Mountains (Seattle Audubon Society 2016).

Although many wildlife species appear to utilize the habitats found in this cluster of large lot residential properties, including the Keeffe property, species of special status or local importance would not likely have particular affinity with the limited habitat elements of the Keeffe property, which includes numerous trees, but understory consisting of lawns, exotic invasive species, and limited cover of native plants. In short, the Keeffe property does not provide prime habitat for species of special status or local importance. The proposed site plan for the Keeffe property would retain 20 of the 66 significant trees on site, including several of the larger conifers. Thus, we do not expect substantial adverse impacts on the species of local concern from the proposed development.

LIMITATIONS

We have prepared this document for the exclusive use of Murray Franklyn and their consultants. No other person or agency may rely upon the information, analysis, or conclusions contained herein without permission from Murray Franklyn.

The determination of ecological system classifications, functions, values, and boundaries is an inexact science, and different individuals and agencies may reach different conclusions. We cannot guarantee the outcome of such agency determinations. Therefore, the conclusions of this document should be reviewed by the appropriate regulatory agencies prior to any detailed site planning or construction activities.

We warrant that the work performed conforms to standards generally accepted in our field, and has been prepared substantially in accordance with then-current technical guidelines and criteria. The conclusions of this report represent the results of our analysis of the information provided by the project proponent and their consultants, together with information gathered in the course of the study. No other warranty, expressed or implied, is made.

Thank you for the opportunity to provide this information. If you have any questions or need additional information, please do not hesitate to contact me at (206) 525-8122 or via email at rwlundquist@raedeke.com.

LITERATURE CITED

- Bellevue, City of. 2015. Title 20 Land Use Code, part 20.25H Critical Areas Overlay District. Current through Ordinance 6223, passed April 6, 2015.
- Google Earth. 2015. Image for 47.615060° -122.153111° in Snohomish County, WA. © 2015 Google. Accessed April 22, 2015.
- King County. 2016. iMAP GIS Interactive map center, King County, Washington. <http://www.kingcounty.gov/operations/GIS/Maps/iMAP.aspx>. Accessed April, 2015 and February 2016.
- Lewis, J.C., and J.M. Azerrad. 2004. Pileated woodpecker (*Dryocopus pileatus*). Pages 29-1 to 29-9 in E.M. Larsen, J.M. Azerrad, and N. Nordstrom, editors. Management Recommendations for Washington's Priority Species, Volume IV: Birds. Available at http://wdfw.wa.gov/hab/phs/vol4/band_pigeon.pdf.
- Raedeke Associates, Inc. 2015. Keffe Property – Wildlife Habitat Assessment. May 6, 2015 technical memorandum to Pacific Properties, Inc., Bellevue, Washington.
- Seattle Audubon Society. 2016. Birdweb: barred owl. Available at: http://birdweb.org/Birdweb/bird/barred_owl. Accessed February 2016.
- The Watershed Company. 2009 (revised 2010). Using the Bellevue Urban Wildlife Habitat Functional Assessment Model.
- U.S.D.A. Natural Resources Conservation Service. 2015. On-line Web Soil Survey. <http://websoilsurvey.nrcs.usda.gov>. Accessed April, 2015.
- U.S. Fish and Wildlife Service. 2015. National Wetland Inventory, Wetlands Online Mapper. <http://wetlandsfws.er.usgs.gov/wtlnds/launch.html>. Accessed April, 2015.
- Washington Department of Fish and Wildlife. 2008. Priority habitats and species list. Olympia, Washington.
- Washington Department of Fish and Wildlife. 2016. PHS on the web. Available at: <http://wdfw.wa.gov/mapping/phs/>. Last accessed February 2016.

